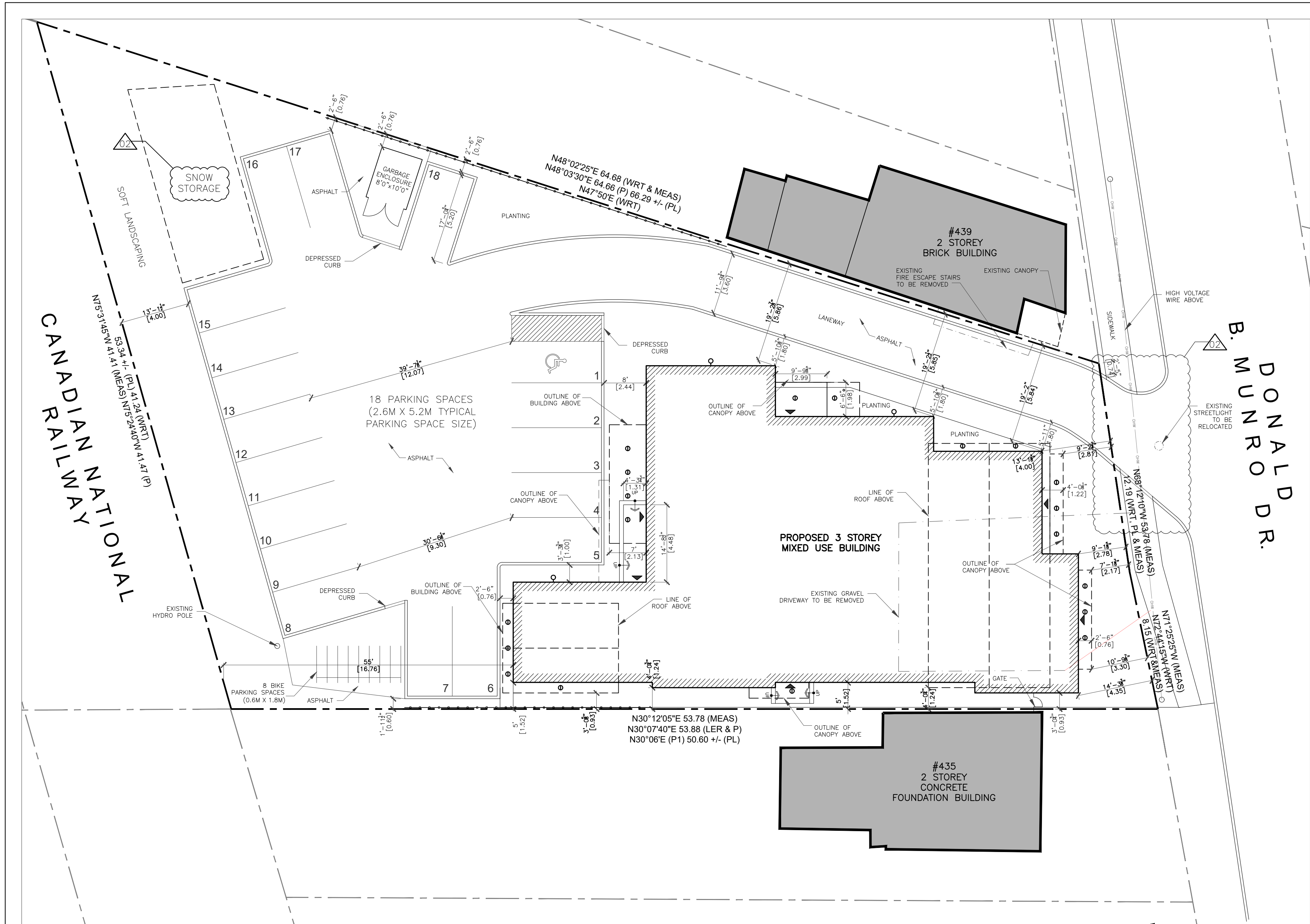
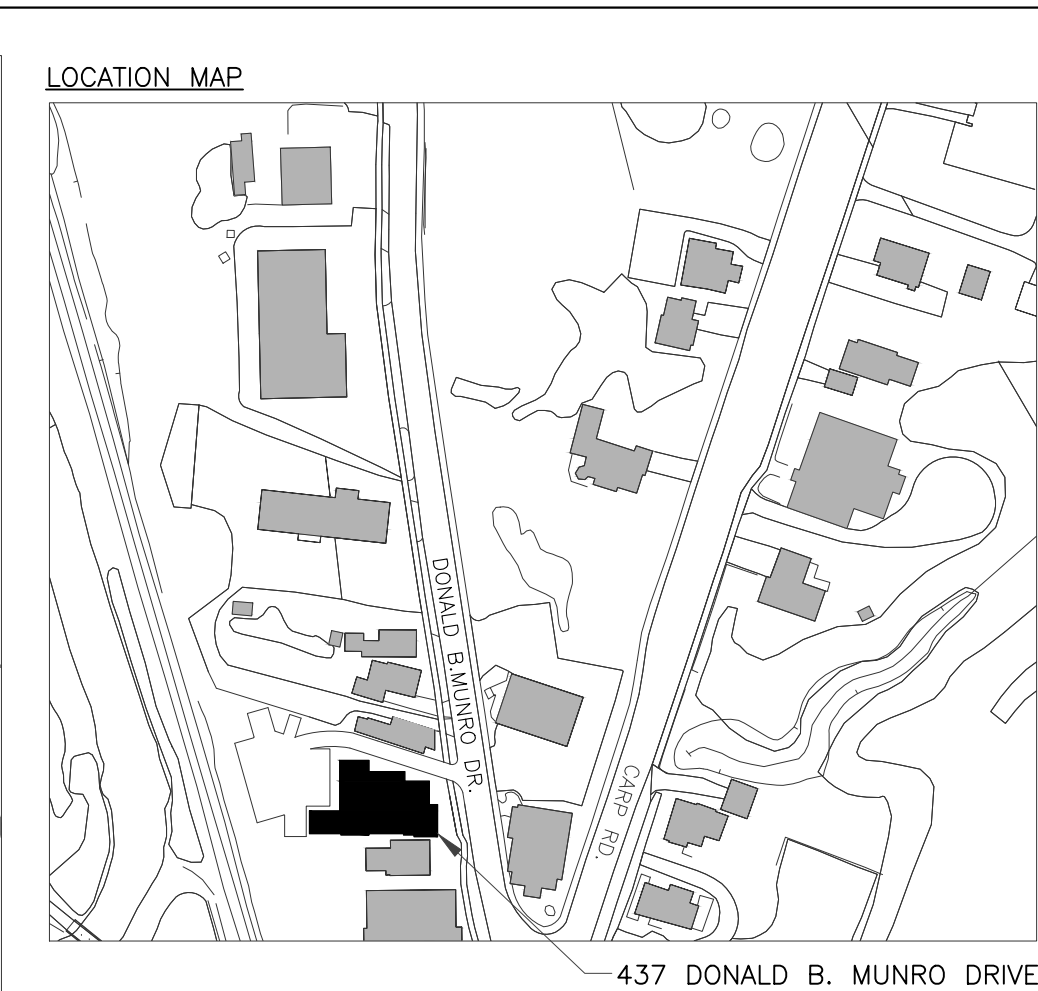




1 SITE PLAN
1:150



LOCATION MAP

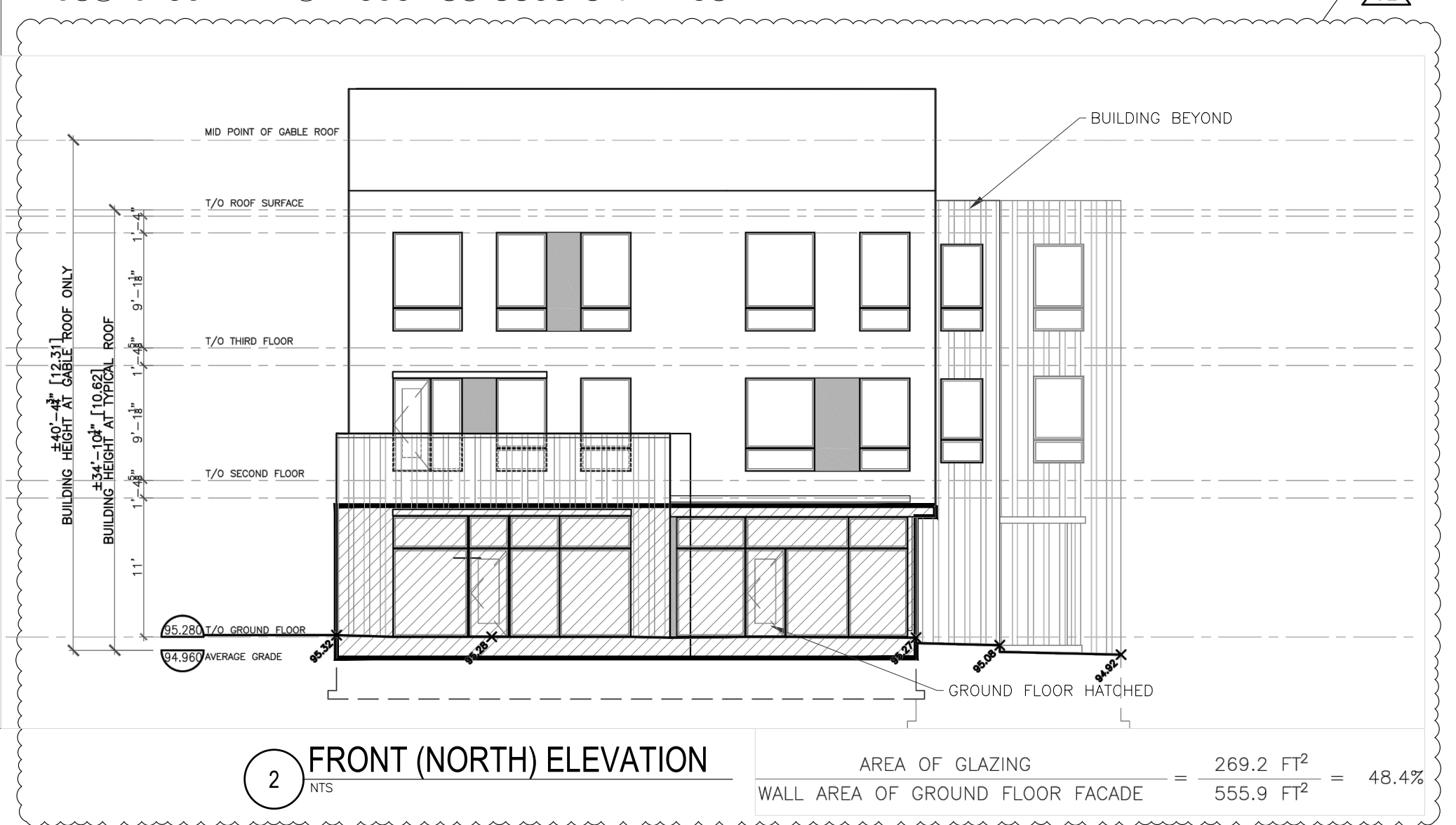
SITE LIGHTING

NOTES:

- ONLY FIXTURES THAT MEET THE CRITERIA FOR FULL CUT-OFF (SHARP CUT-OFF) CLASSIFICATION, AS RECOGNIZED BY THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA OR IES), AND;
- IT MUST RESULT IN MINIMAL LIGHT SPILLAGE ONTO ADJACENT PROPERTIES. AS A GUIDELINE, 0.5 FC IS NORMALLY THE MAXIMUM ALLOWABLE SPILLAGE

LEGEND:

- WALL MOUNTED LIGHTING
- SOFFIT LIGHTING



Committee
of Adjustment
May 27, 2022
City of Ottawa

CONTACT LIST:

OWNER: MAPLE LEAF CUSTOM HOMES
PO BOX 94, OTTAWA, ON, K0A 1T0
613-832-4757x225

CIVIL ENGINEER: NOVATECH ENGINEERING
SUITE 200, 240 MICHAEL COWPLAND DRIVE
OTTAWA, ON, K2M 1P6
613-254-9643

SURVEYOR: STANTEC GEOMATICS LTD.
1331 CLYDE AVE., SUITE 400, OTTAWA, ON
K2C 3G4
613-772-4420

DEVELOPMENT INFORMATION

TOTAL SITE AREA:
17,721.87 FT² (1,646 M²)

ZONING: VM (VILLAGE MIXED USE)

PROPOSED 3 STOREY
MIXED USE BUILDING

GROUND FLOOR: COMMERCIAL USE
2ND & 3RD: APARTMENTS

**GROSS FLOOR AREA:
(AS PER ZONING BY-LAW)**

MEASURED FROM INTERIOR FACE OF
EXTERIOR WALLS, EXCLUDING AREA OF
COMMON STAIRWELLS, COMMON
HALLWAYS, SHARED MECHANICAL
ROOMS, COMMON WASHROOMS

GROUND FLOOR (COMMERCIAL):
3,810 FT²

2ND FLOOR (RESIDENTIAL):
3,991.2 FT²

3RD FLOOR (RESIDENTIAL):
3,969.8 FT²

TOTAL BUILDING GFA:
11,771 FT² (1,093.5 M²)

**BUILDING AREA:
(AS PER OBC)**

Building area means the greatest horizontal
area of a building above grade within the
outside surface of exterior walls)

4,629 FT² (430.0 M²)

**BUILDING AREA:
(FOR CONSTRUCTION PURPOSES)**

MEASURED FROM EXTERIOR FACE OF SHEATHING

GROUND FLOOR (COMMERCIAL):
4,578 FT²

2ND FLOOR (RESIDENTIAL):
4,714 FT²

3RD FLOOR (RESIDENTIAL):
4,691 FT²

TOTAL BUILDING GFA:
13,983 FT² (1,299 M²)

NO.	REV. DATE	REV. DESCRIPTION
03	MAR 18/22	RESUBMISSION #1 FOR SPA
02	DEC 21/21	REVISION AS PER SPA COMMENTS (DEC 10/21)
01	AUG 6/21	SITE PLAN APPLICATION

**COLIZZA BRUNI
architecture**

78 CHAMBERLAIN AVE • OTTAWA • ONTARIO • K1S 1V9
T 613.236.2844 • F 613.236.6777 • www.colizzabruni.com

PROJECT NAME

**437 DONALD B.
MUNRO DRIVE
MIXED USE BUILDING**

CARP, ON

DRAWING TITLE
SITE PLAN

SCALE
AS NOTED

DRAWN BY

DATE
3/18/22

PROJECT NO.
#004-21

CITY FILE NO.

SP1

D07-12-20-0011