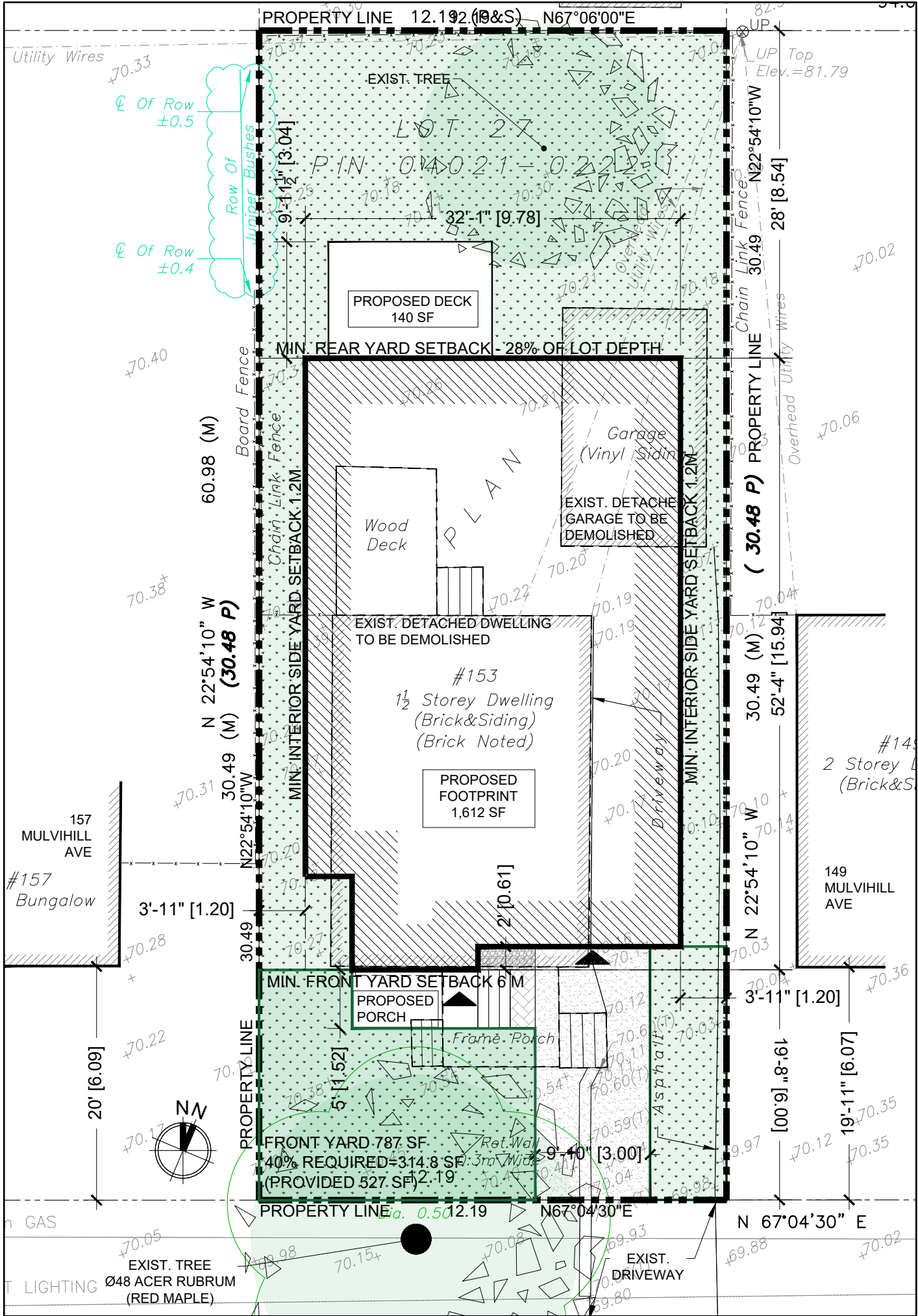


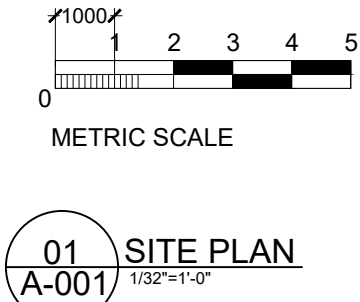


00
A-001 LOCATION PLAN
N.T.S.

ZONING INFO - 153 MULVIHILL AVENUE		
LEGAL DESCRIPTION: PIN 04021-0222, LOT 27, REGISTERED PLAN 440		
ZONING	R1S	
PRINCIPAL DWELLING TYPE	DETACHED DWELLING	
ZONING REQUIREMENTS	REQUIRED	PROPOSED
MINIMUM LOT WIDTH	12 M	12.19 M
MINIMUM LOT AREA	360 M²	371.62 M²
MAXIMUM BUILDING HEIGHT	8 M	8 M
MINIMUM FRONT YARD SETBACK	6 M (OR AVERAGE OF NEIGHBOURS)	6 M
MIN. REQUIRED AGGREGATED SOFT LANDSCAPING	40% OF 787 SQ.FT. = 314.8 SQ.FT. (29.2 M²)	527 SQ.FT.(48.9 M²), 67%
MINIMUM CORNER YARD SETBACK	N/A	N/A
MINIMUM REAR YARD SETBACK	28% OF THE LOT DEPTH, MUST COMPRISE MIN. 25% OF LOT AREA	28% of 30.49 M= 8.54 M
MINIMUM INTERIOR SIDE YARD SETBACK	1.2 M	1.2 M
SCHEDULE 1	AREA B INNER URBAN	
SCHEDULES	SCHEDULE 342, MATURE NEIGHBOURHOODS OVERLAY	
WARD	WARD 15 (KITCHISSIPPI), JEFF LEIPER, WESTBORO	



SITE PLAN LEGEND:	
	PROPERTY LINE
	SETBACK LINE
	PROPOSED DRIVEWAY
	PROPOSED STRUCTURE
	EXIST. TO BE DEMOLISHED
	PROPOSED WALKWAY
	PROPOSED SOFT LANDSCAPING
	RIVER ROCK



NEW DETACHED DWELLING

153 Mulvihill Avenue,
Ottawa, ON K1Z 6Y3

Client:

ANDREW BLOCKA
& BRIGITTE LEBLANC-LAPOINTE
(613) xxx-xxxx
andrew.blocka@gmail.com
bleblanclapointe@gmail.com

Architect:

SUSAN D. SMITH
941 MERIVALE ROAD,
OTTAWA, ON K1Z 6A1
T:(613) 722-5327 C:(613) 291-3777
s.smith@sdsarch.ca

05		
04	ISSUED FOR CoFA	21/06/2022
03	ISSUED FOR REVIEW	25/04/2022
02	ISSUED FOR REVIEW	16/03/2022
01	ISSUED FOR REVIEW	31/01/2022
#	REVISION	DATE

NOTE:
1. DO NOT SCALE DRAWINGS.
2. All dimensions are to be checked onsite. ALL errors and omissions and discrepancies or ambiguities on the drawings, specifications and any other contract documents, must be forwarded in writing to the Architect within two (2) days, upon discovery and prior to work on site or ordering materials.
3. All work must comply with Ontario Building Code.
4. All dimensions include thickness of gypsum board on stud walls.
5. Drawings to be read in conjunction with structural drawings.

Drawing Title:

SITE PLAN

Reviewed By:	Project Start Date: DECEMBER, 2021
	Scale: AS INDICATED
	Drawn By: ZK
	Job No.: 2176
Sheet No.: A-001 OF ##	

NEW DETACHED DWELLING

153 Mulvihill Avenue,
Ottawa, ON K1Z 6Y3

Client:

ANDREW BLOCKA
& BRIGITTE LEBLANC-LAPOINTE
(613) xxx-xxxx
andrew.blocka@gmail.com
bleblanclapointe@gmail.com

Architect:

SUSAN D. SMITH
941 MERIVALE ROAD,
OTTAWA, ON K1Z 6A1
T:(613) 722-5327 C:(613) 291-3777
s.smith@sdsarch.ca

05		
04	ISSUED FOR CoFA	21/06/2022
03	ISSUED FOR REVIEW	25/04/2022
02	ISSUED FOR REVIEW	16/03/2022
01	ISSUED FOR REVIEW	31/01/2022
#	REVISION	DATE

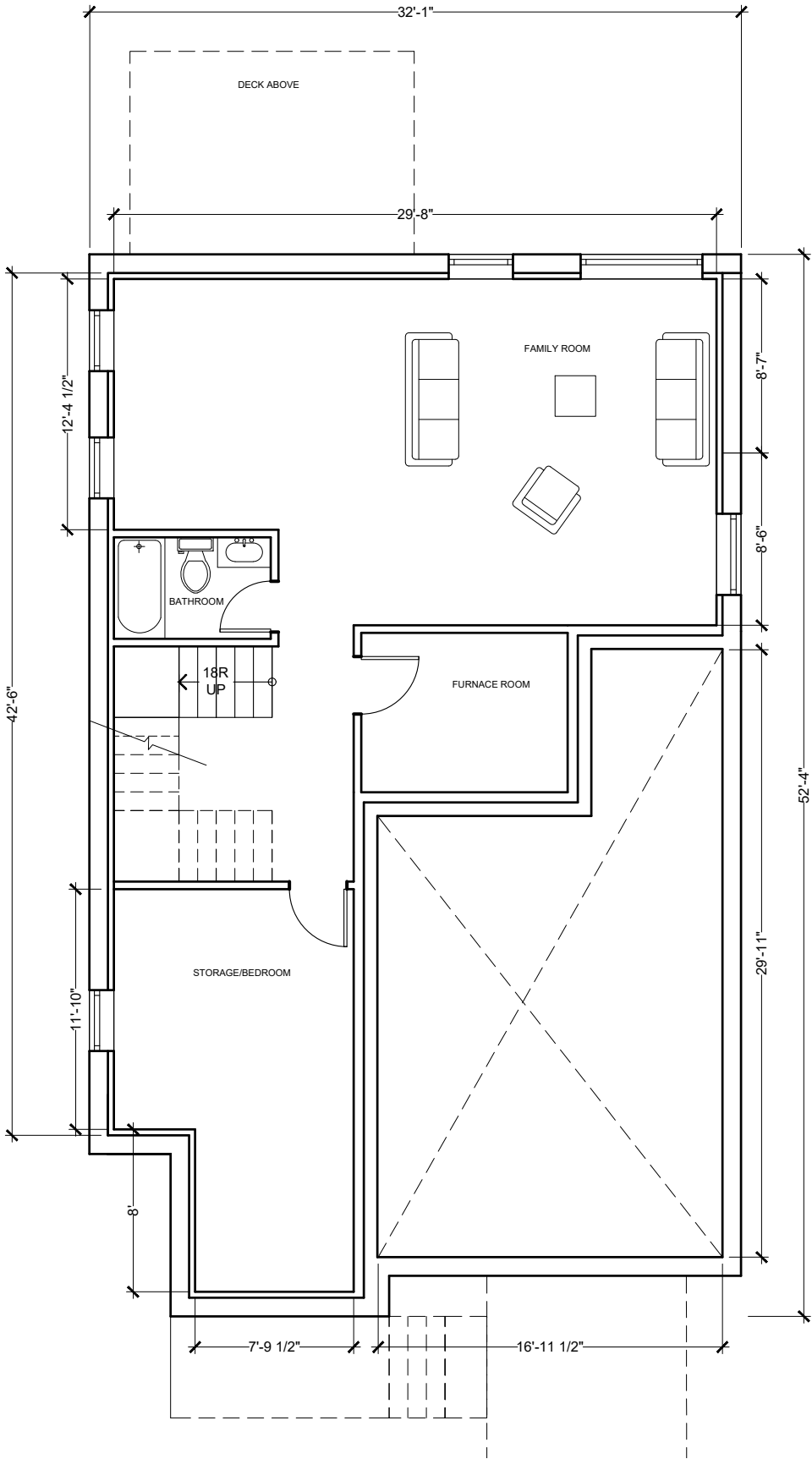
NOTE:
1. DO NOT SCALE DRAWINGS.
2. All dimensions are to be checked onsite. ALL errors and omissions and discrepancies or ambiguities on the drawings, specifications and any other contract documents, must be forwarded in writing to the Architect within two (2) days, upon discovery and prior to work on site or ordering materials.
3. All work must comply with Ontario Building Code.
4. All dimensions include thickness of gypsum board on stud walls.
5. Drawings to be read in conjunction with structural drawings.

Drawing Title:

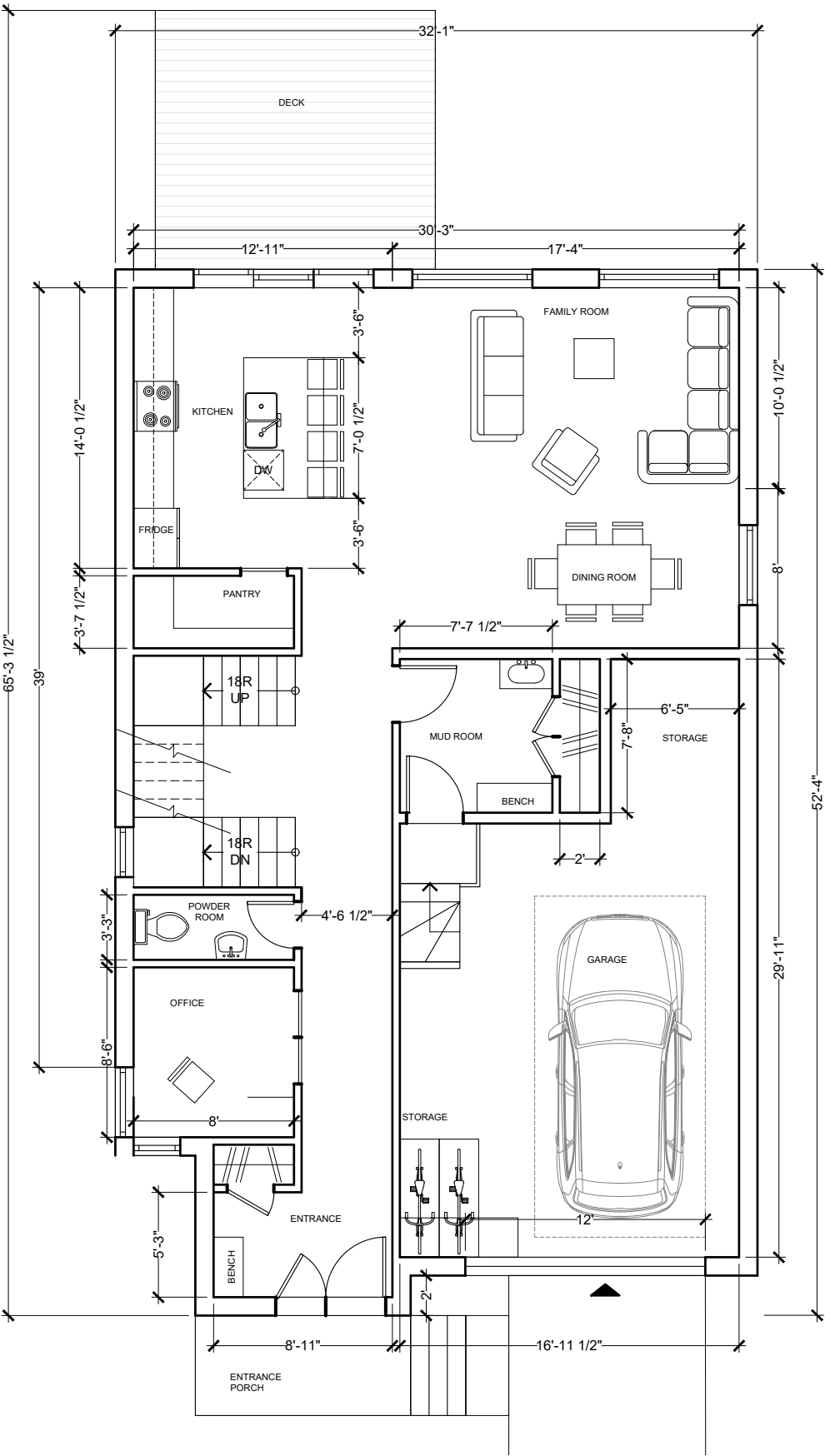
FLOOR PLANS

Reviewed By:	Project Start Date: DECEMBER, 2021
	Scale: AS INDICATED
	Drawn By: ZK
	Job No.: 2176
Sheet No.:	

A-001
OF ##



01 BASEMENT
A-001 1/8"=1'-0"



02 GROUND FLOOR
A-001 1/8"=1'-0"

NEW DETACHED DWELLING

153 Mulvihill Avenue,
Ottawa, ON K1Z 6Y3

Client:

ANDREW BLOCKA
& BRIGITTE LEBLANC-LAPOINTE
(613) xxx-xxxx
andrew.blocka@gmail.com
bleblanclapointe@gmail.com

Architect:

SUSAN D. SMITH
941 MERIVALE ROAD,
OTTAWA, ON K1Z 6A1
T:(613) 722-5327 C:(613) 291-3777
s.smith@sdsarch.ca

05		
04	ISSUED FOR CofA	21/06/2022
03	ISSUED FOR REVIEW	25/04/2022
02	ISSUED FOR REVIEW	16/03/2022
01	ISSUED FOR REVIEW	31/01/2022
#	REVISION	DATE

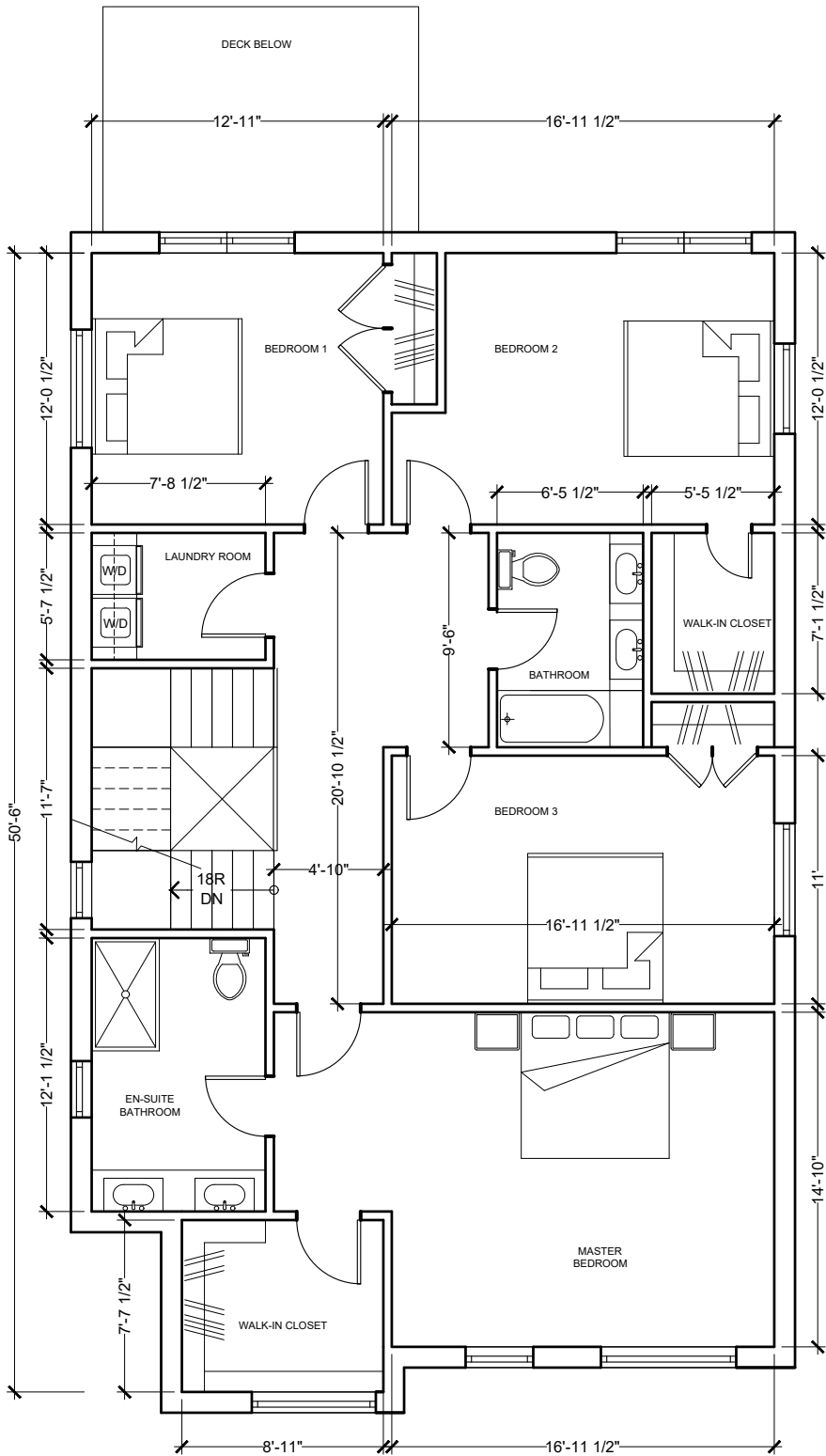
- NOTE:
- DO NOT SCALE DRAWINGS.
 - All dimensions are to be checked onsite. ALL errors and omissions and discrepancies or ambiguities on the drawings, specifications and any other contract documents, must be forwarded in writing to the Architect within two (2) days, upon discovery and prior to work on site or ordering materials.
 - All work must comply with Ontario Building Code.
 - All dimensions include thickness of gypsum board on stud walls.
 - Drawings to be read in conjunction with structural drawings.

Drawing Title:

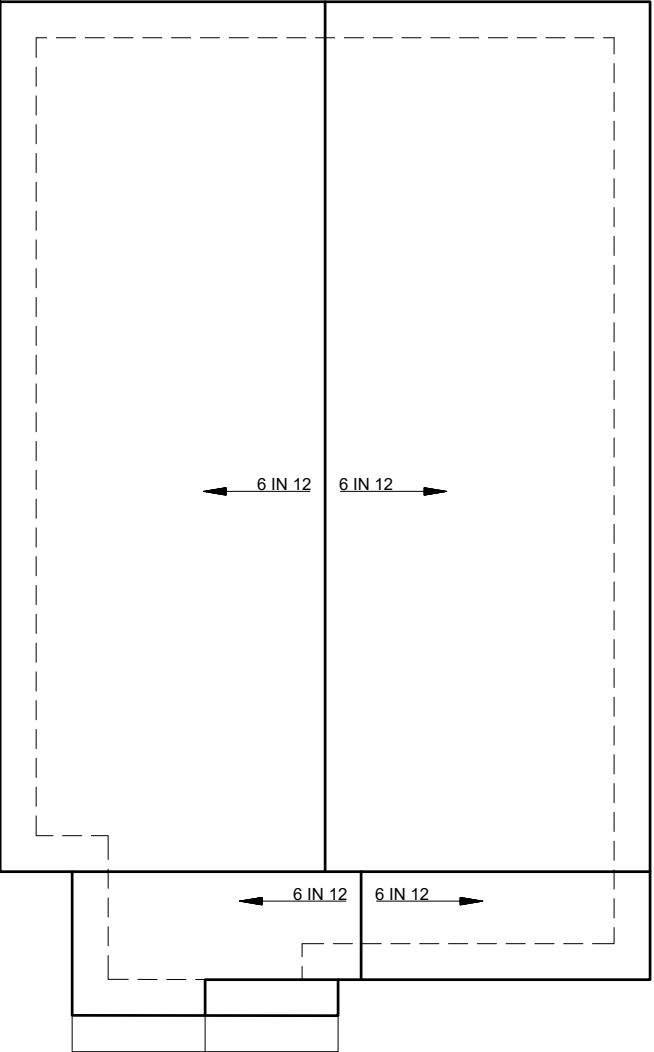
FLOOR PLAN
ROOR PLAN

Reviewed By:	Project Start Date: DECEMBER, 2021
	Scale: AS INDICATED
	Drawn By: ZK
	Job No.: 2176
Sheet No.:	

A-002
OF ##



01 SECOND FLOOR
A-002 1/8"=1'-0"



02 ROOF PLAN
A-002 3/32"=1'-0"

NEW DETACHED DWELLING

153 Mulvihill Avenue,
Ottawa, ON K1Z 6Y3

Client:

ANDREW BLOCKA
& BRIGITTE LEBLANC-LAPOINTE
(613) xxx-xxxx
andrew.blocka@gmail.com
bleblanclapointe@gmail.com

Architect:

SUSAN D. SMITH
941 MERIVALE ROAD,
OTTAWA, ON K1Z 6A1
T:(613) 722-5327 C:(613) 291-3777
s.smith@sdsarch.ca

05		
04	ISSUED FOR CofA	21/06/2022
03	ISSUED FOR REVIEW	25/04/2022
02	ISSUED FOR REVIEW	16/03/2022
01	ISSUED FOR REVIEW	31/01/2022
#	REVISION	DATE

NOTE:

1. DO NOT SCALE DRAWINGS.

2. All dimensions are to be checked onsite. ALL errors and omissions and discrepancies or ambiguities on the drawings, specifications and any other contract documents, must be forwarded in writing to the Architect within two (2) days, upon discovery and prior to work on site or ordering materials.

3. All work must comply with Ontario Building Code.

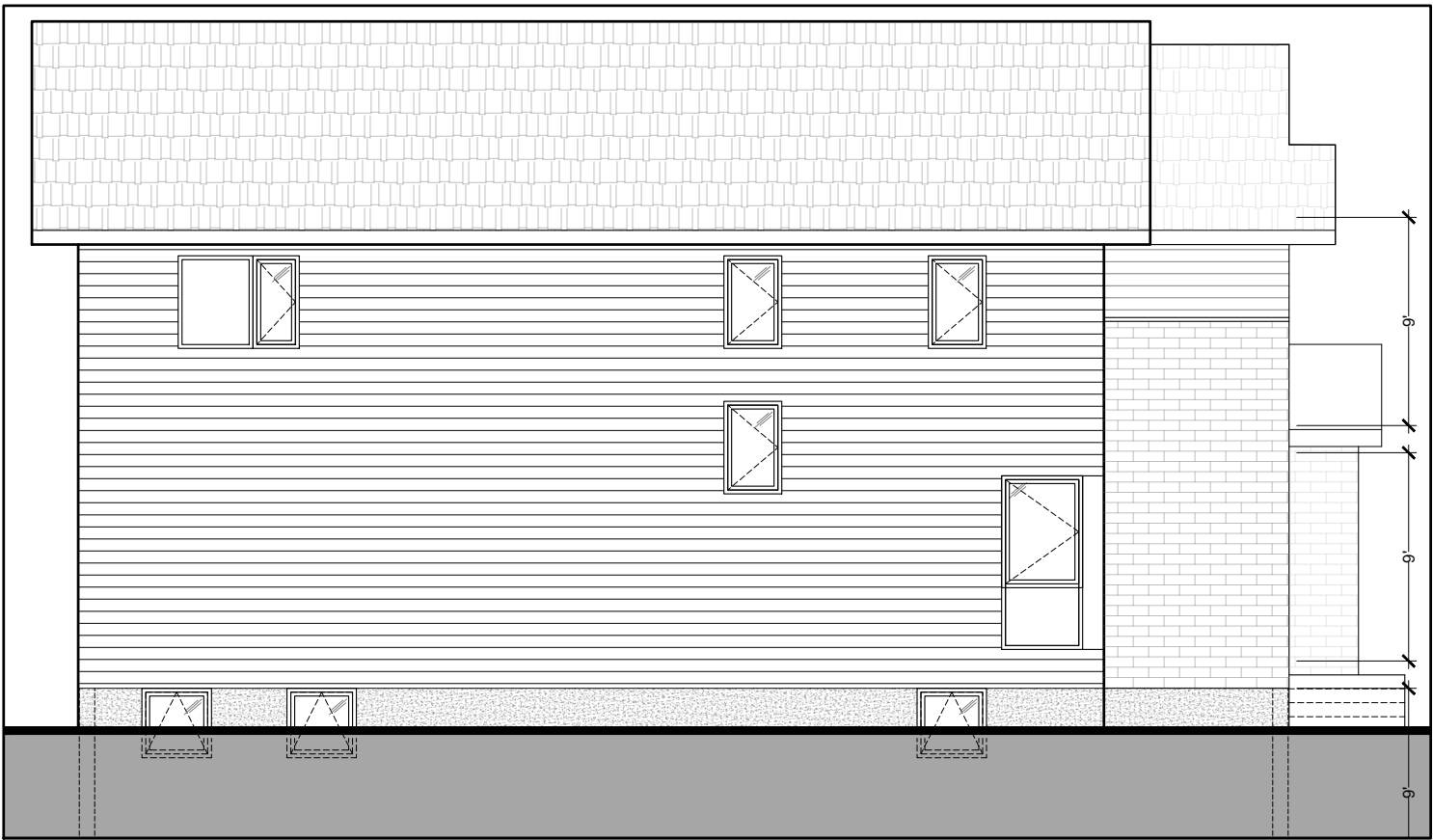
4. All dimensions include thickness of gypsum board on stud walls.

5. Drawings to be read in conjunction with structural drawings.

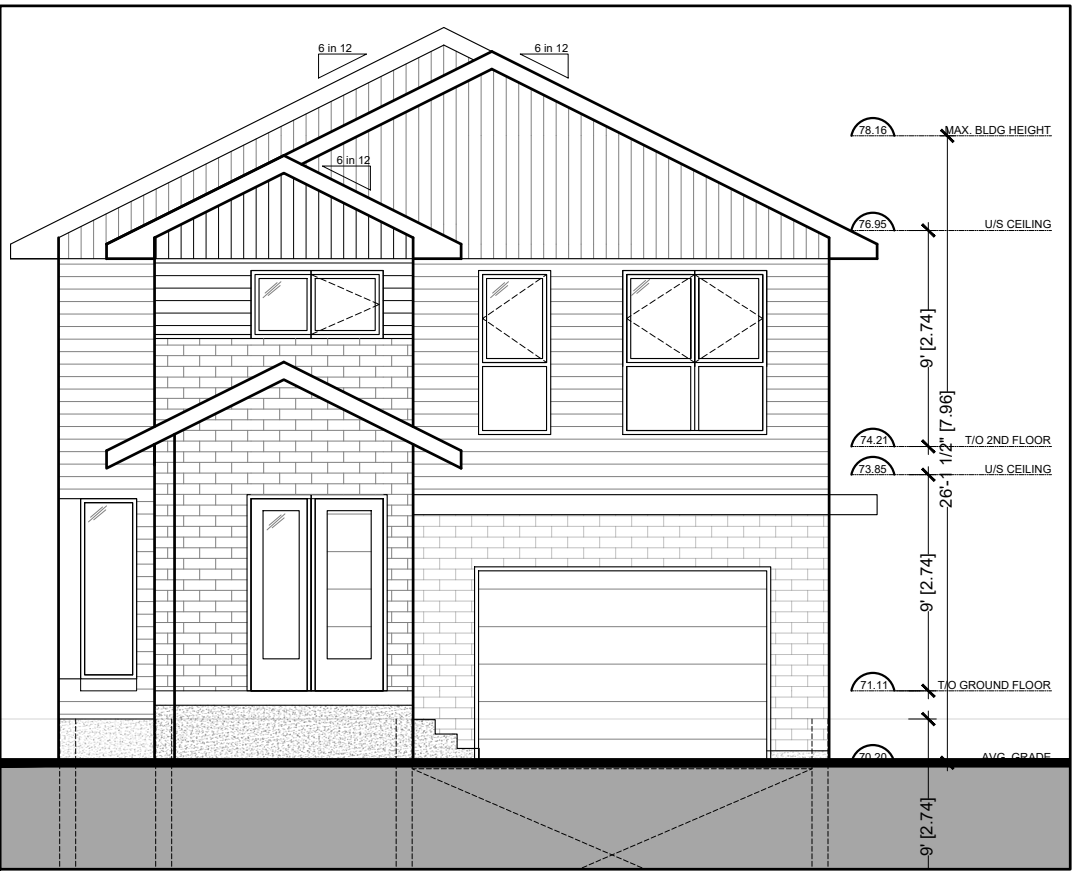
Drawing Title:

ELEVATIONS

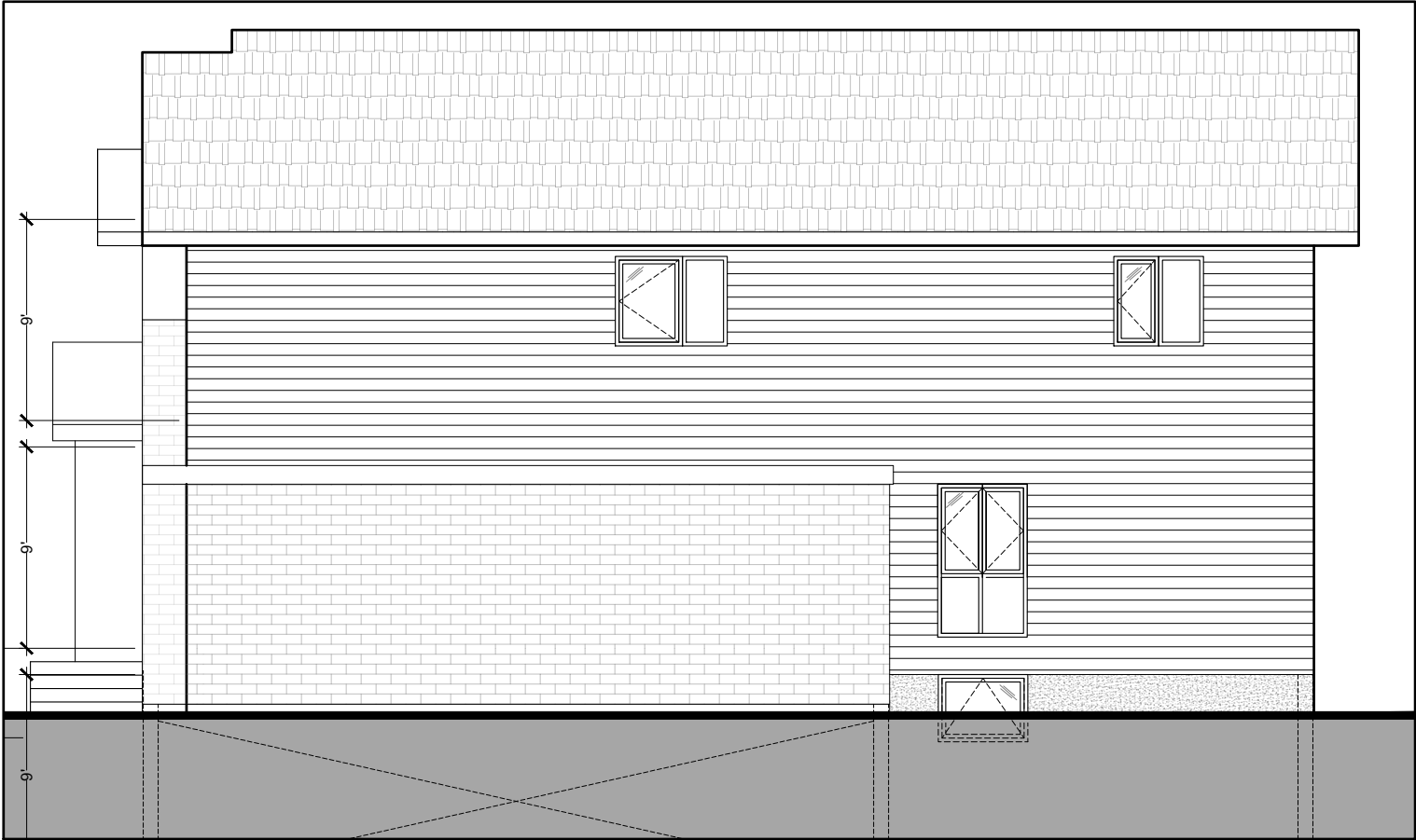
Reviewed By:	Project Start Date: DECEMBER, 2021
	Scale: AS INDICATED
	Drawn By: ZK
	Job No.: 2176
Sheet No.: A-004 OF ##	



01 WEST ELEVATION
A-004 1/8"=1'-0"



01 SOUTH (FRONT) ELEVATION
A-004 1/8"=1'-0"



02 EAST ELEVATION
A-004 1/8"=1'-0"



02 NORTH (REAR) ELEVATION
A-004 1/8"=1'-0"