

**Committee of Adjustment**  
**AUG 11 2022**  
**City of Ottawa**

**SURVEYOR'S REAL PROPERTY REPORT**  
**PART 1 Plan of**  
**PART OF LOT 12**  
**(SOUTH CLARENCE STREET)**  
**REGISTERED PLAN 43586**  
**CITY OF OTTAWA**  
**FARLEY, SMITH & DENNIS SURVEYING LTD. 2022**  
**Scale 1:100**

**Metric Note:**  
 Distances on this plan are in metres and can be converted to feet by dividing by 0.3048.  
**Distance Note:**  
 Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999924.

**Bearing Note:**  
 Bearings hereon are grid bearings derived from the CanMet Real Time Network and are referred to the Central Meridian of NAD 83 (Zone 18N, 76°30' West Longitude) NAD 83 (original).  
 For bearing comparisons, a rotation of 0°50'45" counter-clockwise was applied to bearings on P.L. P2, P3, P4 & P5.

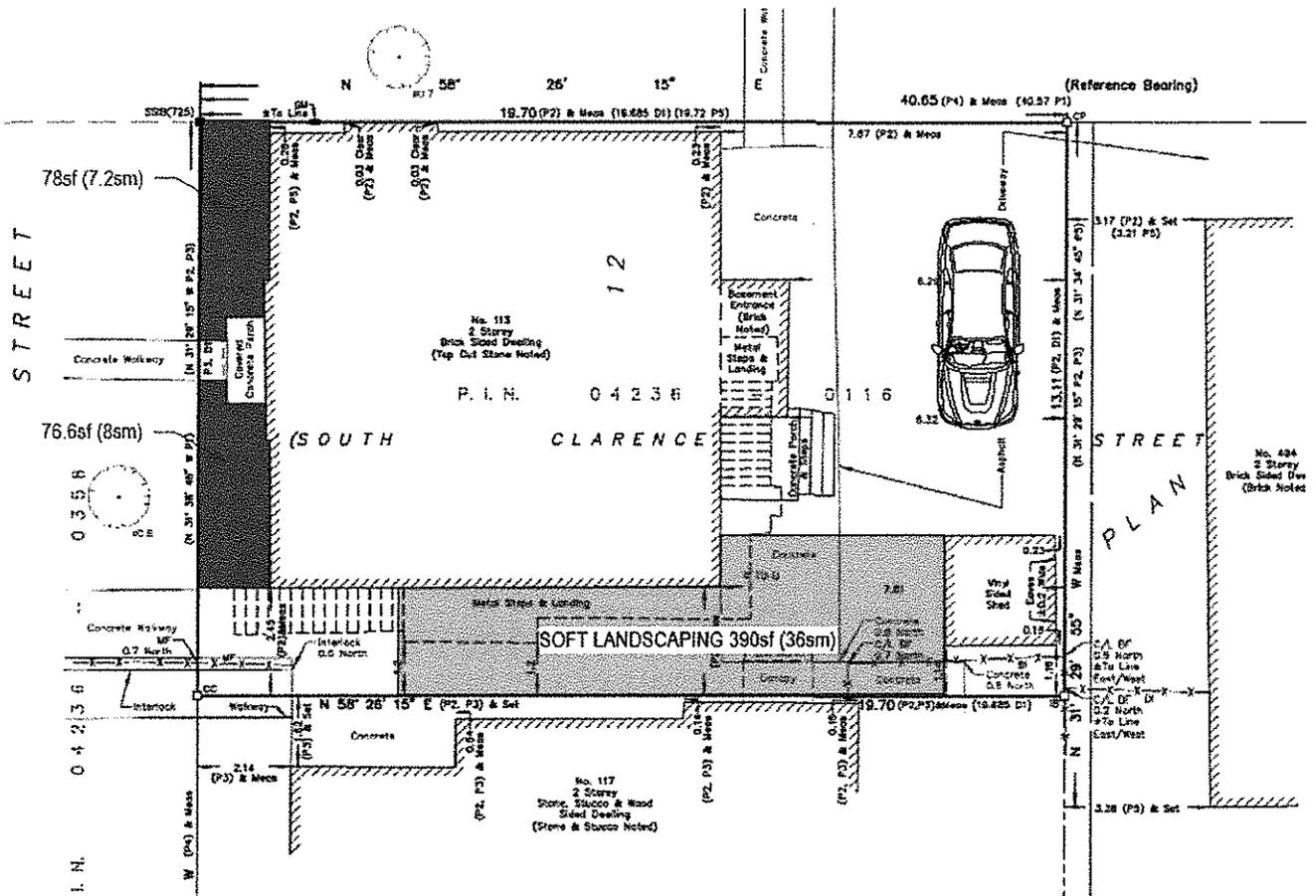
- Notes & Legend**
- Denote
  - Survey/Measurement Point
  - Survey Monument Found
  - Standard Iron Bar
  - Short Standard Iron Bar
  - Iron Bar
  - Concrete Pin
  - CD
  - Concrete Pin
  - Witness
  - Measured
  - Registered Plan 43586
  - Plan by (partial) dated September 6, 1998 (ref. 631-89)
  - Plan by (partial) dated February 16, 2011 (ref. 103-4358)
  - Plan by (partial) dated February 16, 2011 (ref. 103-4358)
  - Plan by (1:150) dated March 13, 1998 (ref. 12-4356)
  - Inst. N272172
  - G34 Meter
  - Ball Terminal Box
  - Ball Terminal
  - Metal Fence
  - Property Line
  - Decision Tree - This symbol shows denote location and trunk diameter only. Size of the root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

- PART 2**
1. REGISTERED RIGHTS, EASEMENTS, ENCUMBRANCES, COVENANTS, RESTRICTIONS, AND OTHER RIGHTS OF WAY OR EASEMENTS WERE FOUND TO BE REGISTERED AGAINST THE SUBJECT PROPERTY.
  2. EASEMENTS, ENCUMBRANCES, RESTRICTIONS, AND OTHER RIGHTS OF WAY OR EASEMENTS WERE FOUND TO BE REGISTERED AGAINST THE SUBJECT PROPERTY.
  3. COMPLIANCE WITH MUNICIPAL ZONING BYLAWS
  4. COMPLIANCE IS NOT CERTIFIED BY THIS REPORT.
  5. ADDITIONAL REMARKS
  6. SHEET(S) 258/3 FROM
- THIS REPORT WAS PREPARED FOR:**  
 Madama Lemay, (The Client), the Client's solicitors, mortgagees, and other related parties. The undersigned accepts no responsibility for use by other parties. See Part 2 of this Report.
- Surveyor's Certificate**  
 I certify that:  
 1. This survey and plan are correct and in accordance with the Surveyors Act, the Surveyors Regulation and the Regulations made under them.  
 2. The survey was completed on the 8th day of July, 2022.  
 3. The survey was completed on the 8th day of July, 2022.

Date: July 12, 2022  
 Signature: [Signature]  
 Name: James Leslie  
 Title: Ontario Land Surveyor

**WARNING:** NO PERSON MAY COPY, REPRODUCE, DISSEMINATE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENNIS SURVEYING LTD. © FARLEY, SMITH & DENNIS SURVEYING LTD. 2022

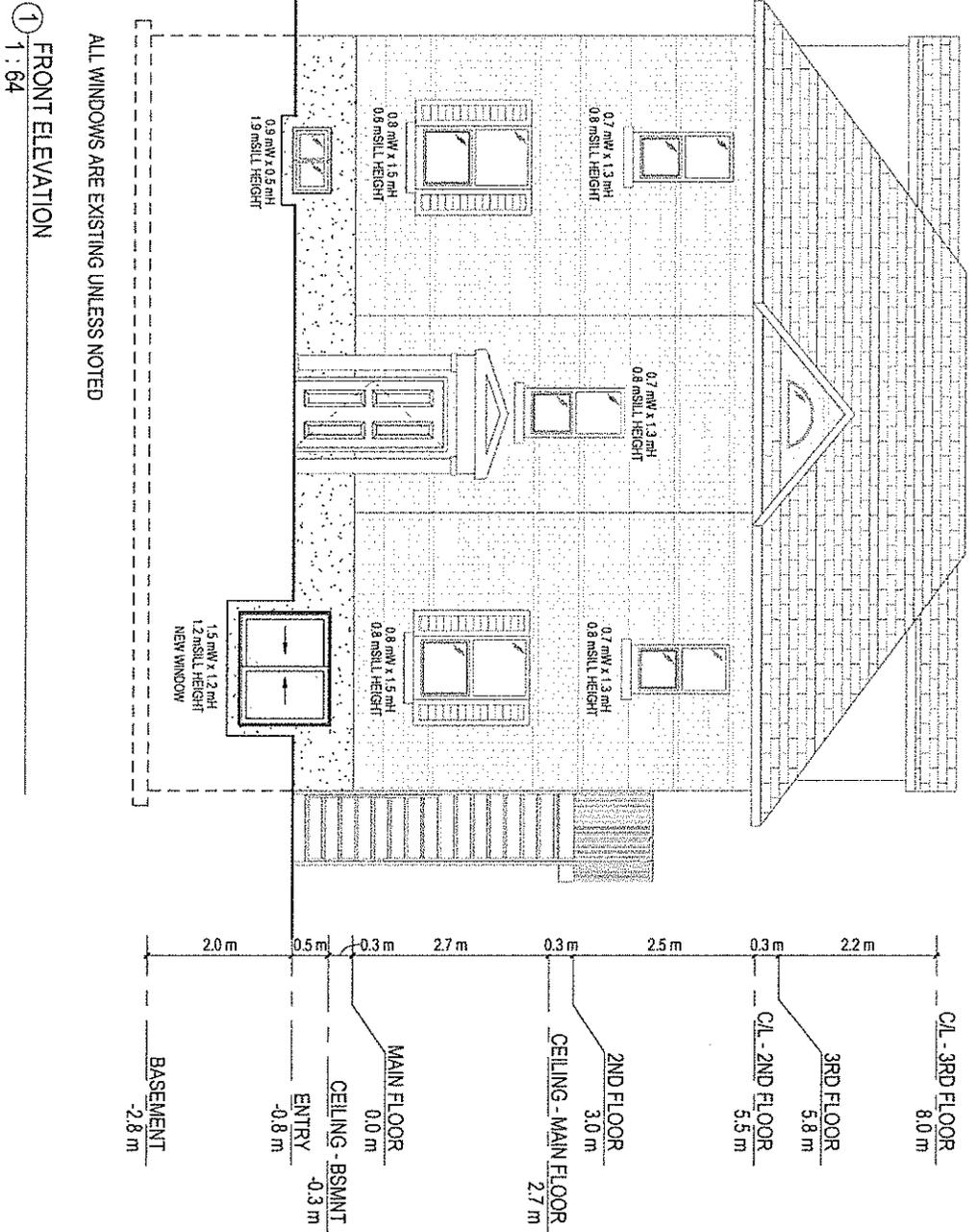
Back image001.png



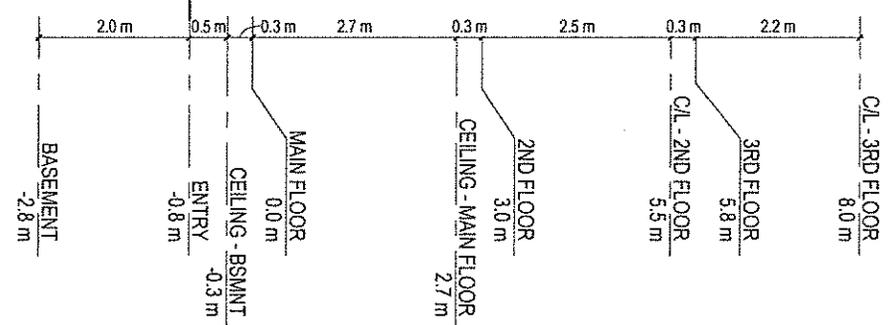
Committee of Adjustment  
 AUG 11 2022  
 City of Ottawa

Committee of Adjustment  
**AUG 11 2022**  
 City of Ottawa

WINDOW AREA - 7.99m  
 FACADE AREA - 64.75SF  
 12.2% RATIO



GENERAL SEPARATION			
ELEVATION	EXPOSED UNFINISHED AREA (m <sup>2</sup> )	ALTERED UNFINISHED AREA (m <sup>2</sup> )	PROPOSED UNFINISHED AREA (m <sup>2</sup> )
FRONT	83	27	83
REAR			
LEFT			



VIKTORIA ZANCOVICSKA  
 BCIN# 47342  
 VDS-Design #121.147  
 QUALIFICATION INFO:  
 LARGE BUILDINGS

TEL: 613.413.8282  
 EMAIL: vektor@vektor.ca

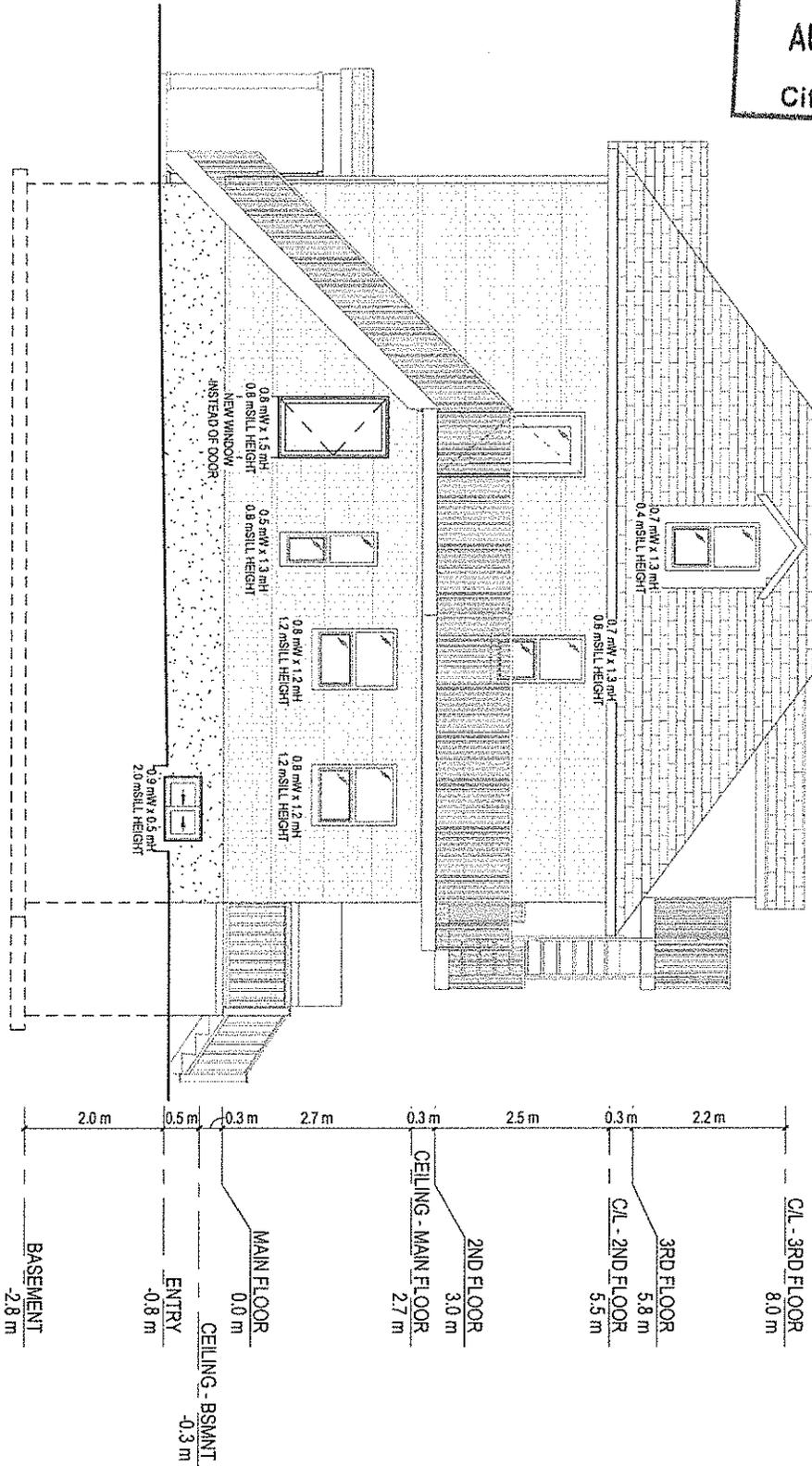
1. THIS DRAWING MUST NOT BE SCALED
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF WORK.
3. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT
4. VARIATIONS AND MODIFICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.
5. DIMENSIONS ARE TO:
  - O.L. STUD FOR INTERIOR WOOD FRAMING
  - TO EXT FACE OF FRAMING FOR NEW WOOD FRAMING, TO FACE OF INT FINISH FOR EXISTING CONSTR.
  - F.O. CONCRETE AND MASONRY
  - NO OF WINDOWS
  - O.L. DOORS

#	DATE	REVISION
1	27 JULY 22	REVISION 1
0	28 APR 22	ISSUED FOR BUILDING PERMIT

**TRIPLEX**  
 113 LOWER  
 CHARLOTTE ST,  
 OTTAWA, K1N 8K4

ELEVATIONS

**A4.1**



ALL WINDOWS ARE EXISTING UNLESS NOTED  
 1 RIGHT ELEVATION  
 1:64



VICTORIA ZAMOCHENSKA  
 BCIN# 47342  
 VDSIGNZ Inc # 121 147  
 QUALIFICATION INFO:  
 LARGE BUILDINGS

TEL: 613 413 6282  
 EMAIL: victoria.zamo@vdsignz.ca

1. THIS DRAWING MUST NOT BE SCALED
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF WORK
3. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT
4. VARIATIONS AND MODIFICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT
5. DIMENSIONS ARE TO:
  - C/L STUD FOR INTERIOR WOOD FRAMING
  - TO EXT FACE OF FRAMING FOR NEW WOOD FRAMING, TO FACE OF INT FINISH FOR EXISTING CONSTR.
  - F/O CONCRETE AND MASONRY
  - R/O OF WINDOWS
  - C/L DOORS

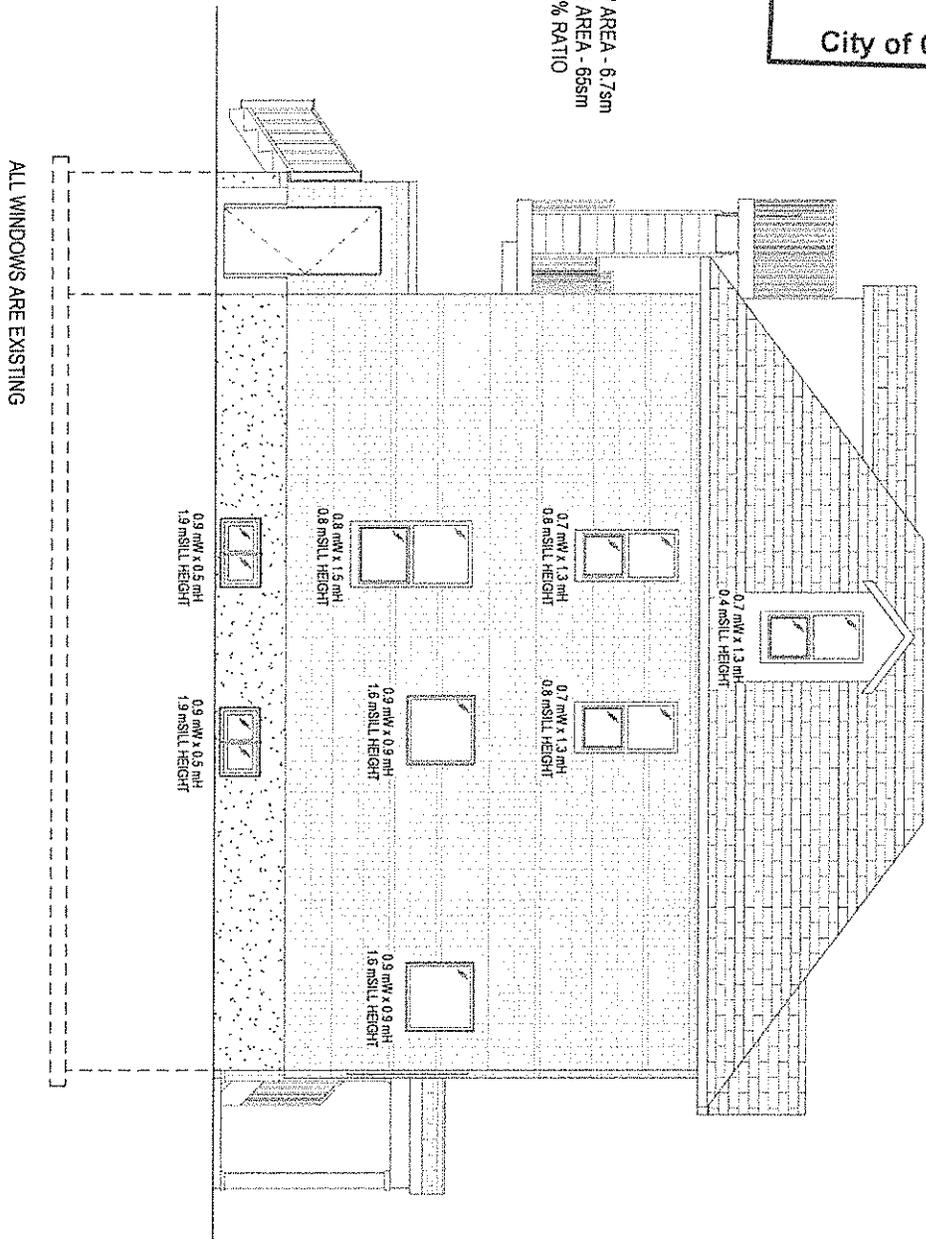
#	DATE	REVISION
1	27 JULY 22	REVISION 1
0	28 APR 22	ISSUED FOR BUILDING PERMIT

TRIPLEX  
 113 LOWER  
 CHARLOTTE ST,  
 OTTAWA, K1N 8K4

ELEVATIONS

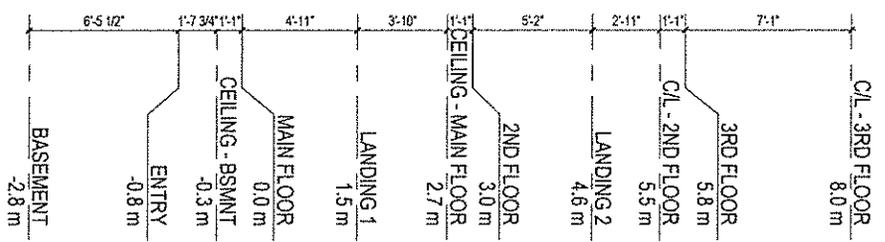
A4.2

WINDOW AREA - 6.73m  
 FACADE AREA - 66sm  
 10.3% RATIO



① LEFT ELEVATION  
 1:64

ALL WINDOWS ARE EXISTING



VICTORIA ZAKHARENKO  
 BCIN# 47342  
 VOSignZ Inc # 121 147  
 QUALIFICATION INFO:  
 LARGE BUILDINGS

TEL: 613 413 6282  
 EMAIL: vektorz@vektorz.ca

1. THIS DRAWING MUST NOT BE SCALED
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF WORK.
3. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT.
4. VARIATIONS AND INDICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.
5. DIMENSIONS ARE TO:
  - C/L STUD FOR INTERIOR WOOD FRAMING
  - TO EXT FACE OF FRAMING FOR NEW WOOD FRAMING TO FACE OF INT FINISH FOR EXISTING CONSTR
  - F/O CONCRETE AND MASONRY
  - R/O OF WINDOWS
  - C/L DOORS

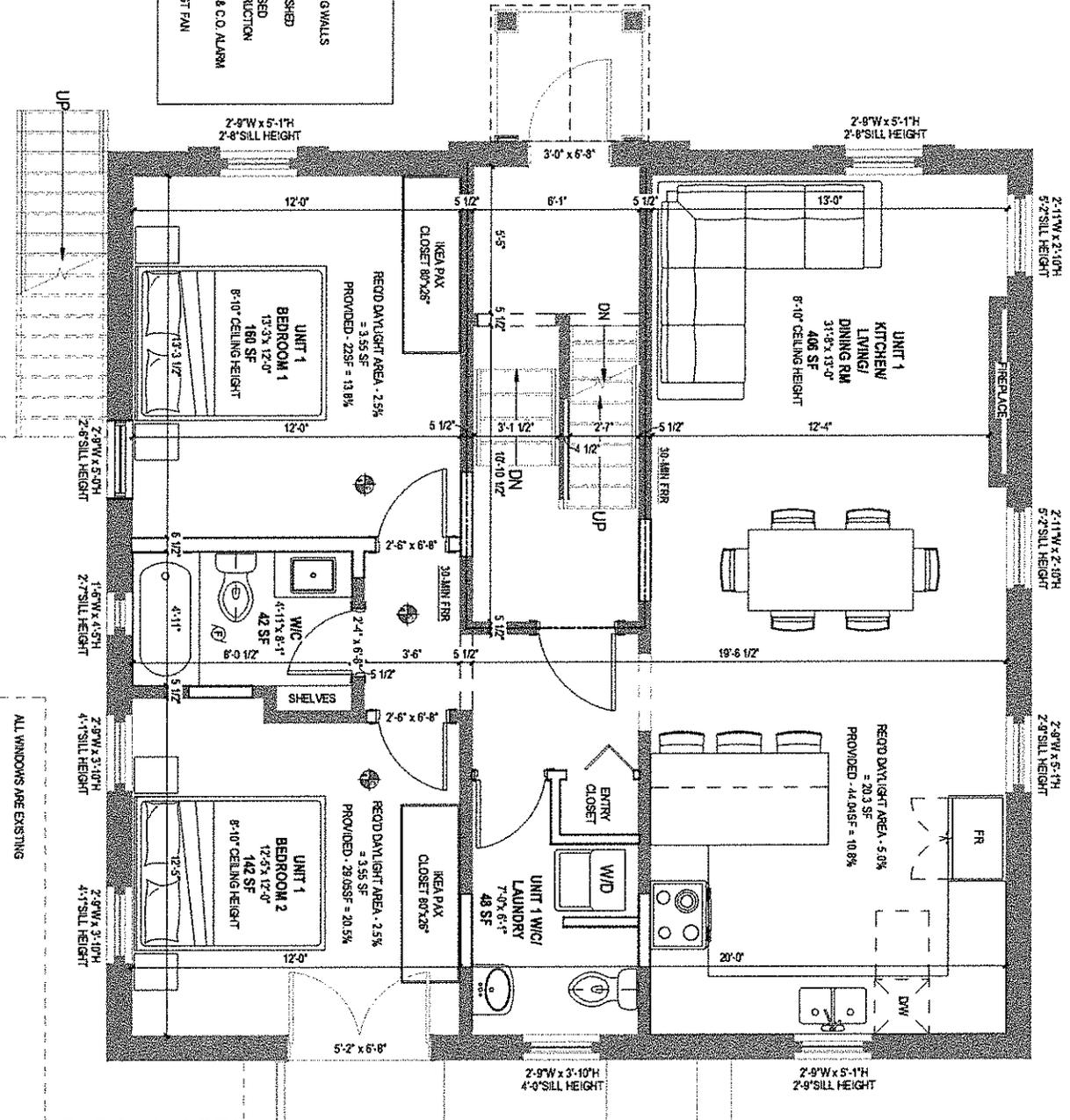
#	DATE	REVISION
1	27 JULY 22	REVISION 1
0	28 APR 22	ISSUED FOR BUILDING PERMIT

TRIPLEX  
 113 LOWER  
 CHARLOTTE ST,  
 OTTAWA, K1N 8K4

ELEVATIONS

A4.3

LEGEND	
	EXISTING WALLS
	DEMOLISHED
	PROPOSED CONSTRUCTION
	SMOKE & CO. ALARM
	EXHAUST FAN



1 MAIN FLOOR PLAN - PROPOSED  
1/4" = 1'-0"

Committee of Adjustment  
AUG 11 2022  
City of Ottawa

*W. J. J. J.*  
SEAL AND REGISTER NO. 1111

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
THESE DIMENSIONS ARE APPROXIMATE TO CONVEY  
ESSENTIAL INFORMATION ONLY  
24 JUNE 22

- 1 THIS DRAWING MUST NOT BE SCALED
- 2 THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK
- 3 ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT
- 4 VARIATIONS AND MODIFICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT
- 5 DIMENSIONS ARE TO:
  - O.A. STUD FOR INTERIOR WOOD FRAMING
  - TO EXTERIOR FACE OF FRAMING FOR NEW WOOD FRAMING TO FACE OF INT FINISH FOR EXISTING CONSTR
  - F.O.C. CONCRETE AND MASONRY
  - F.O.O. OF WINDOWS
  - O.A. DOORS

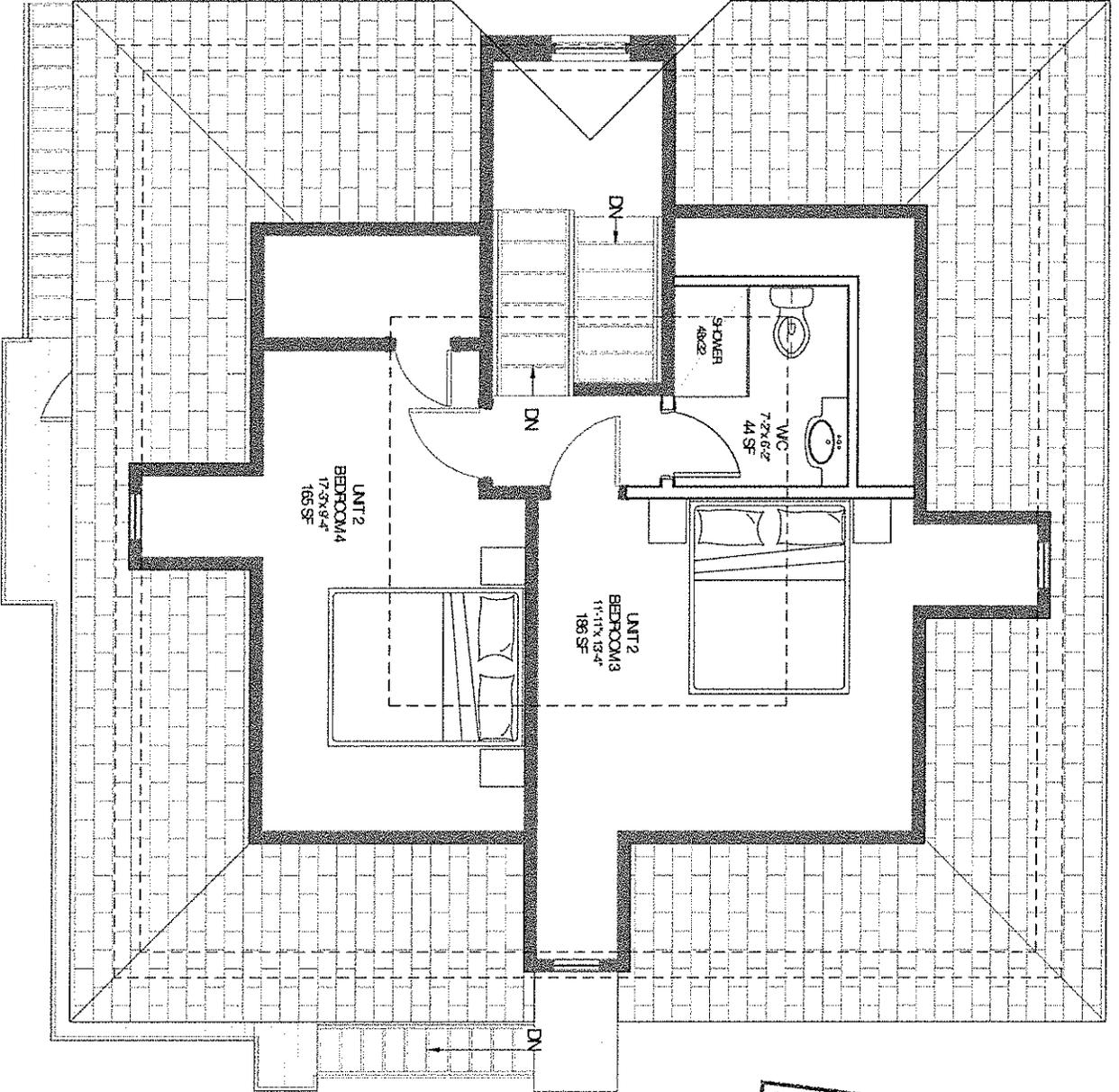
113 LOWER  
CHARLOTTE ST,  
OTTAWA, K1N 8K4

**TRIPLEX**

MAIN FLOOR PLAN -  
PROPOSED

A3.2

LEGEND	
	EXISTING WALLS
	DEMOLISHED
	PROPOSED CONSTRUCTION
	SMOKE & CO. ALARM
	EXHAUST FAN



Committee of Adjustment  
AUG 11 2022  
City of Ottawa



**PRELIMINARY**  
NOT FOR CONSTRUCTION  
THESE DRAWINGS ARE INTENDED TO OBTAIN  
PERMISSION ONLY.  
19 APR 22

1. THIS DRAWING MUST NOT BE SCALED
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK
3. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT
4. VARIATIONS AND MODIFICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT
5. DIMENSIONS ARE TO:
  - O.L. STUD FOR INTERIOR WOOD FRAMING
  - TO EXT. FACE OF FRAMING FOR NEW WOOD FRAMING TO FACE OF INT. FINISH FOR EXISTING CONSTR.
  - TO CONCRETE AND MASONRY
  - TO WINDOWS
  - TO DOORS

TRIPLEX

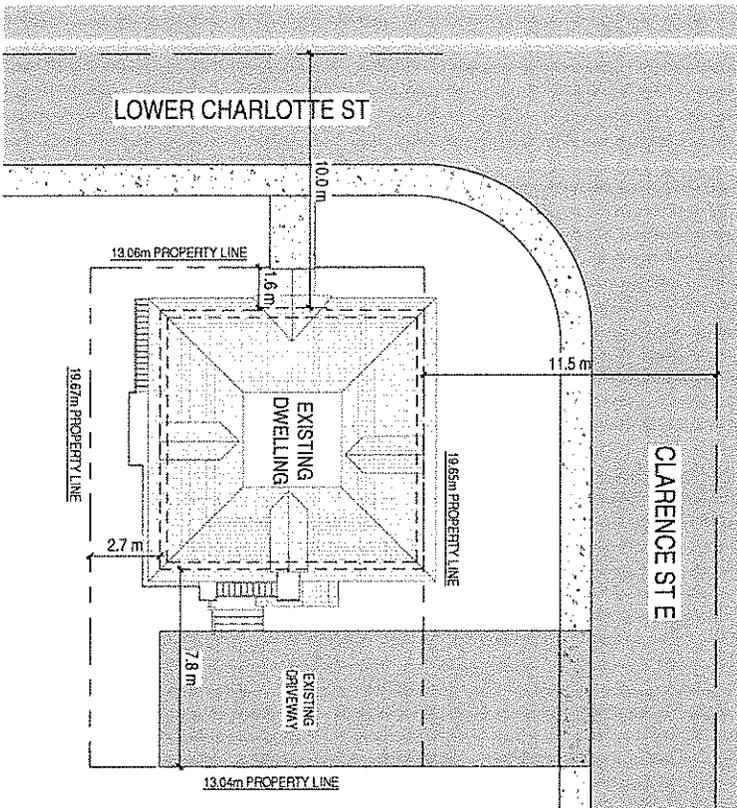
113 LOWER CHARLOTTE ST

3RD FLOOR PLAN - PROPOSED

A3.4

# 113 LOWER CHARLOTTE ST, OTTAWA, K1N 8K4

## TRIPLEX



1 SITE PLAN  
1/16" = 1'-0"

### WALL AND PARTITION TYPES

ALL INTERIOR PARTITION WALLS TO BE P1 UNLESS OTHERWISE SPECIFIED.  
ALL PARTITIONS MARKED AS 30-MIN FRR TO BE P2

#### W1 FOUNDATION WALL - NEW

WATERPROOFING  
EXST CONC BLOCK  
NEW 1" RIGID INSUL, R-5  
NEW 2x4 WOOD STUDS @ 16" o.c.  
NEW 3 1/2" BATT INSULATION (R-15)

NEW 6mil VAPOR BARRIER  
NEW 5/8" TYPE-X GB (OR 1/2" GYPSUM BOARD IF CEILING MEMBRANE IS EXTENDED ABOVE THE WALL)

#### P1 INTERIOR WALLS - NEW

1/2" DRYWALL  
2x4 WOOD STUDS @ 16" o.c.  
1/2" DRYWALL

### OPTIONS FOR P2 - INTERIOR PARTITION, 30-MIN FRR REQD

#### OBC-W1A (1HR FRR, 38 STC)

5/8" TYPE-X GB  
2x4 WOOD STUDS @ 16" o.c.  
MINERAL WOOL IN THE CAVITY  
5/8" TYPE-X GB

#### OBC-W1D (1HR FRR, 32 STC)

5/8" TYPE-X GB  
2x4 WOOD STUDS @ 16" o.c.  
NO MINERAL WOOL IN THE CAVITY  
5/8" TYPE-X GB

#### OBC-W1C (45MIN FRR, 32 STC)

1/2" REGULAR DRYWALL  
2x4 WOOD STUDS @ 16" o.c.  
MINERAL WOOL IN THE CAVITY  
1/2" REGULAR DRYWALL

#### OBC-W3A (1-HR FRR, 45 STC)

5/8" TYPE-X GB  
2x4 WOOD STUDS @ 16" o.c.  
MINERAL WOOL IN THE CAVITY  
RESILIENT METAL CHANNELS @ 16" OR 20" o.c.  
5/8" TYPE-X GB

### FLOORS AND CEILING TYPES

#### F1 FLOOR BETWEEN UNITS

30-MIN FRR REQD, 50-MIN FRR PROVIDED  
EXISTING 5/8" PLYWOOD SUBFLOOR  
EXISTING 2x10 JOISTS @ 16" o.c.  
(10MIN FRR AS PER T.2.3.4.C., SB-2)  
ADD 6" MINERAL FIBRE INSULATION IN CAVITY  
ADD RESILIENT METAL CHANNELS @ 20" o.c.  
ADD 5/8" TYPE-X GYPSUM BOARD  
(40MIN FRR AS PER T.2.3.4.A., SB-2)

WRAP SUPPORTING STEEL BEAMS AND POSTS WITH 5/8" TYPE-X GYPSUM BOARD.

FIRE-RATED CEILING MEMBRANE SHOULD BE EXTENDED OVER THE TOP PLATE OF NON-LOADBEARING WALLS.



VIKTORIYA ZHAROVENSKA  
BCINW 47 342  
VdarspZhp# 121.147  
QUALIFICATION INFO:  
LARGE BUILDINGS

TEL: 613.433.6362  
EMAIL: viktoriya.zharenz@vzengr.ca

1. THIS DRAWING MUST NOT BE SCALED
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF WORK
3. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT
4. VARIATIONS AND MODIFICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT
5. DIMENSIONS ARE TO:
  - O.L. STUD FOR INTERIOR WOOD FRAMING
  - TO EXT FACE OF FRAMING FOR NEW WOOD FRAMING, TO FACE OF INT FINISH FOR EXISTING CONSTR.
  - F.O. CONCRETE AND MASONRY
  - B.O. OF WINDOWS
  - O.L. DOORS

#	DATE	REVISION
0	28 APR 22	ISSUED FOR BUILDING PERMIT

### TRIPLEX

113 LOWER CHARLOTTE ST,  
OTTAWA, K1N 8K4



### TITLE SHEET

A0

**GENERAL NOTES**

1. THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS TO CONFORM TO THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE & THE CSA STANDARDS. THE LATEST REVISIONS TO ALL STANDARDS WILL CONFORM.
2. THE CONTRACTORS SHALL CHECK AND VERIFY ALL CONDITIONS AND MEASUREMENTS ON SITE AND REPORT ANY DISCREPANCIES OR ON SITE CONDITIONS THAT MAY NEGATIVELY AFFECT THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE DRAINAGE REQUIRED FOR CONSTRUCTION.
3. DO NOT SCALE DRAWINGS.

**WOOD FRAMING**

1. ALL TIMBER CONSTRUCTIONS IS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE (OBC 9.20.2). LATEST REVISIONS.
2. ALL STRUCTURAL FRAMING LUMBERS IS TO BE SP# NO.2 GRADE OR BETTER, UNLESS NOTED. STUD GRADE IS NOT ACCEPTABLE FOR BEARING WALLS, LINTELS AND POSTS.
3. ALL LOAD BEARING WALLS OVER 9'-0" TO 12'-0" TO HAVE HORIZONTAL BLOCKING AT MID-HEIGHT. ALL LOAD BEARING WALLS OVER 12'-0" TO HAVE CONTINUOUS HORIZONTAL BLOCKING AT THIRD POINTS.
4. ALL BEAMS REQUIRE RESTRAINT AGAINST LATERAL DISPLACEMENT AND ROTATION AT THE POINT OF BEARING.

5. FOR BUILT-UP BEAMS, IT IS ASSUMED THAT EACH NAIL IS A SINGLE CONTINUOUS MEMBER FASTENED TOGETHER SECURELY AT INTERVALS NOT EXCEEDING 4 TIMES THE DEPTH AND THAT EACH PLY IS EQUALLY LOADED. (SEE 9.23.8.2.(7)(9) FOR FASTENING MEMBERS)
6. BUILT-UP RECTANGULAR COMPRESSION MEMBERS SHALL CONSIST OF INDIVIDUAL MEMBERS OF EQUAL LENGTH FASTENED TOGETHER USING NAILS, LAG SCREWS OR BOLTS.
7. WHEN USED, NAILS SHALL PENETRATE THROUGH AT LEAST OF 3/4 OF THE THICKNESS OF THE LAST INDIVIDUAL PIECE. THE NAILS SHALL BE DRIVEN FROM EITHER FACE OF THE BUILT-UP MEMBER ALONG THE LENGTH.

8. ALL EXPOSED EXT. WOOD TO BE PRESSURE TREATED (P 1)
9. WHEN INDIVIDUAL PIECES OF THE BUILT-UP MEMBER ARE WIDER THAN 3 TIMES THEIR THICKNESS, THERE SHOULD BE AT LEAST 2 ROWS OF FASTENERS ACROSS THE MEMBER WIDTH.

**HANDRAILS**

1. AT LEAST ONE HANDRAIL MUST BE CONTINUOUS. - OBC 9.8.7.2
2. HANDRAIL TO BE 34" - 38" (863-965mm) HIGH - OBC 9.8.7.4
3. CLEARANCE TO THE WALL 2" (50mm) MIN. - OBC 9.8.7.5.

**STAIRS**

1. HEADROOM CLEARANCE 6'-3" (1.93m) MIN. - OBC 9.8.2.2
2. NOSING TO BE EITHER ROUNDED OR BEVELLED - OBC 9.8.4.6.
3. REQUIRED DIMENSIONS

INTERIOR OR EXTERIOR STAIRS SERVING ONE DWELLING UNIT ONLY

RISER: 4 7/8" (125mm) MIN, 7 7/8" (200mm) MAX  
 RUN: 8 1/4" (210mm) MIN, 13 7/8" (355mm) MAX  
 TREAD: 8 1/4" (210mm) MIN, 13 7/8" (355mm) MAX  
 NOSING: 1" (25mm) MAX

PUBLIC STAIRS

RISER: 4 7/8" (125mm) MIN, 7 7/8" (195mm) MAX  
 RUN: 11" (280mm) MIN, NO LIMIT MAX  
 TREAD: 11" (280mm) MIN, NO LIMIT MAX

**LANDING**

1. A LANDING SHALL BE PROVIDED AT THE TOP OF ALL EXTERIOR STAIRS. - OBC 9.8.6.2

**DOORS**

1. DOORS, INCLUDING STUCCO LOCATED MORE THAN 28.5" (726mm) ABOVE GROUND OR LANDINGS TO BE EITHER RESTRICTED IN OPENING OR BE PROVIDED WITH GUARDS AS PER OBC 9.8.8.1.
2. PROVISIONS SHOULD BE PROVIDED TO RESIST FORCED ENTRY AS PER OBC 9.7.5.2 & 9.7.5.3
3. EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST ONE CUT-SIDE WINDOW THAT IS OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35sqm WITH NO DIMENSION LESS THAN 300mm. AND MAINTAINS THE REQUIRED OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT.
4. DOOR BETWEEN ATTACHED GARAGES AND DWELLING SHALL BE TIGHT FITTING, WEATHER STRIPPED, AND HAVE A SELF-CLOSING DEVICE. OBC 9.19.9.1B.
5. MAINTAIN ONE LINE OF PASSAGE FROM THE UTILITY ROOM TO THE EXTERIOR WITH ALL DOORWAYS BEING A MIN. 32" IN WIDTH.

6. INSTALL BULLETPROOF PROTECTION AROUND ALL WINDOW & DOOR OPENINGS AS PER MANUFACTURER RECOMMENDATIONS.

**GUARDRAILS**

1. REQUIRED BETWEEN ADJACENT WALKING SURFACES WITH AN ELEVATIONS DIFFERENCE GREATER THAN 23.5" (600mm) - OBC 9.8.8.1.
2. GUARD RAIL 2'-1 1/2" (500mm) MIN. - OBC 9.8.8.3.
3. EXTERIOR GUARD HEIGHT 3'-6" (1070mm) MIN FOR ELEVATION DIFFERENCE GREATER THAN 5'-11" (1800mm) - OBC 9.8.8.3.(9).
4. LOADING CRITERIA TO CONFORM TO OBC 4.1.5.14.
5. GUARDS TO HAVE ENGINEER STAMPED SHOP DRAWINGS TO CONFORM TO OBC 4.1.5.14, AND TO BE PROVIDED TO BUILDING INSPECTOR AT BACKFILL INSPECTION STAGE.
6. CLEAR SPACE BETWEEN BALUSTERS 4" (100mm) MAX. - OBC 9.8.8.5.
7. NO CLIMBABLE ELEMENTS BETWEEN 4" AND 36" ABOVE FINISHED FLOOR. - OBC 9.8.8.5
8. TO COMPLY WITH OBC 9.8.8.1 FOR RESISTANCE TO CLIMBING AND KICKING ANCHORAGE.
9. ALL LANDING GUARDS TO BE 4'-0" IN HEIGHT WHEN LANDING IS HIGHER THAN 10 METERS.

10. AIR VAPOR MOISTURE BARRIER
1. AIR BARRIERS TO BE CONTINUOUS. - OBC 9.25.3.3.
2. AIR BARRIERS TO COMPLY TO OBC 9.25.3.
3. PROVIDE AIR AND VAPOR TIES FOR AIR SEAL TO DOOR & WINDOW OPENINGS.
4. PROVIDE AIR BARRIER MEMBRANE AT ATTACHED GARAGES TO PREVENT THE MIGRATION OF FUMES AND CO GASES INTO DWELLING. - OBC 9.10.9.16.(4)
5. VAPOR BARRIERS TO CONFORM TO 9.25.3. & CANCS93.9.1.4.4.
6. MOSTURE BARRIER SHALL BE PROVIDED IN ALL AREAS WHERE THE WOOD IS IN CONTACT WITH CONCRETE OR UNIT MASONRY LOCATED BELOW GRADE. - OBC 9.23.2.3.

- FINISHES
1. FLOOR FINISHES IN BATHROOMS, KITCHENS, LAUNDRY ROOMS, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT. - OBC 9.30.1.2
2. WALL FINISHES IN ALL TUB AND SHOWER AREAS TO BE WATERPROOF. - OBC 9.29.2.1.

3. CERAMIC TILE REQUIRES MINIMUM 5/8" (16mm) SUB-FLOOR + 1/4" (6mm) UNDERLAY.
4. APPLIANCES
1. TO BE LDC LISTED AND INSTALLED AS PER MANUF. ACTUERS SPECIFICATION.
2. FIRE PROTECTION FOR GAS AND ELECTRIC RANGES TO BE PROVIDED AS PER OBC 9.10.22.

- DRAINAGE
1. WINDOW WELLS SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION (DO NOT DIRECTLY CONNECT TO WEeping TILE SYSTEM). - OBC 9.14.6.3
2. DRAINAGE LAYER SHALL BE INSTALLED ADJACENT TO THE EXTERIOR SURFACE OF A FOUNDATION WALL WHERE THE RESILATION EXTENDS TO MORE THAN 2'-11" (900mm) BELOW THE ADJACENT EXTERIOR GROUND LEVEL. - OBC 9.14.2.1.

- FLASHING (OBC 9.20.13)
1. INSTALL WHERE SLOPING SURFACES INTERSECT TO FORM A VALLEY, INTERSECTION OF WALLS AND SHINGLED ROOF, AND AT CHIMNEY AND CHIMNEY SADDLE INTERSECTION. - OBC 9.20.4
2. FLASHING BENEATH WEEP HOLES IN MASONRY VENEER OVER WOOD-FRAME WALLS SHALL BE INSTALLED SO THAT IT EXTENDS FROM A POINT NOT LESS THAN 5mm BEYOND THE OUTER FACE OF THE BUILDING ELEMENT BELOW THE FLASHING TO A POINT 150mm UP THE WOOD FRAME WALL. - OBC 9.20.13.6
3. JOINTS IN FLASHING SHALL BE MADE WATER-TIGHT. - OBC 9.20.13.7.
4. INSTALL BENEATH JOINED MASONRY WINDOW SILLS, OVER THE BACK AND TOP OF PARAPET WALLS, OVER THE HEADS OF GLASS BLOCK PANELS, BENEATH WEEP HOLES, AND OVER THE HEADS OF WINDOW AND DOOR OPENINGS IN EXTERIOR WALLS WHEN THE VERTICAL DISTANCE BETWEEN THE TOP OF THE WINDOW OR DOOR FRAME AND THE BOTTOM EDGE OF THE EAVE EXCEEDS 1/4 OF THE HORIZONTAL EAVE OVERHANG. - OBC 9.20.13.3.

- SMOKE ALARMS
1. AT LEAST ONE SMOKE ALARM MUST BE INSTALLED ON EACH STOREY, INCLUDING BASEMENTS, AND ON ANY STOREY CONTAINING SLEEPING ROOMS. A SMOKE ALARM MUST BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND THE REMAINDER OF THE STOREY. AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY. - OBC 9.10.10.3.
2. SMOKE ALARMS SHALL BE INSTALLED WITH PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT AND HAVE NO DISCONNECT SWITCH BETWEEN THE OVER-CURRENT DEVICE AND THE SMOKE ALARM, AND BE PROVIDED WITH A BATTERY AS AN ALTERNATIVE POWER SOURCE THAT CAN CONTINUE TO PROVIDE POWER TO THE SMOKE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN THE NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM. - OBC 9.10.19.4. SMOKE ALARMS CAN BE ON BATTERY IN EXISTING HOUSES AS PER PART 11.
3. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED IN A DWELLING UNIT, THE SMOKE ALARMS SHALL BE WIRED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND. - OBC 9.10.19.5.
4. A SMOKE ALARM SHALL HAVE A VISUAL SIGNALING COMPONENT CONFORMING TO THE REQUIREMENTS IN 9.25.3. (LIGHT, COLOR AND PULSE CHARACTERISTICS) OF NFPA 72, NATIONAL FIRE ALARM AND SIGNALING CODE. - OBC 9.10.19.2.(4).
5. THE VISUAL SIGNALING NEED NOT BE INTEGRATED WITH THE SMOKE ALARM PROVIDED IT IS INTERCONNECTED TO IT, BE ON BATTERY BACKUP OR HAVE SYNCHRONIZED FLASH BATES. - OBC 9.10.19.3.(5).
6. THE LUMINOUS INTENSITY FOR VISUAL SIGNALING COMPONENTS THAT ARE INSTALLED IN SLEEPING ROOMS SHALL BE A MINIMUM OF 175 CD. - OBC 9.10.19.3.(6).
7. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED NEXT TO EACH SLEEPING AREA. - OBC 9.23.4.2.
8. SMOKE ALARMS ARE TO BE INTERCONNECTED BETWEEN UNITS. SMOKE ALARMS DON'T HAVE TO BE INTERCONNECTED IF EACH UNIT HAS A DEDICATED EXT.
9. AN IN-DUCT SMOKE DETECTOR IS BEING IN THE SUPPLY OR RETURN DUCTS WHERE THERE IS A SHARED FURNACE SUPPLYING AIR TO BOTH UNITS.

- INTERIOR NOTES
1. REPLACE 1/2" GB WITH SEMI-CRISTALLINE TYPE PRODUCT AT ALL SHOWER, SHOWER-TUB WALLS & SHOWER WINDOW SILLS AND JAMBS.
2. REPLACE 1/2" GYPSUM BOARD WITH WATER RESISTANT GB AT BATHTUB & SUBROCKS
3. REINFORCEMENT SHOULD BE PROVIDED FOR FUTURE GRAB BARS AS PER 9.5.2.3 OBC

- FIRE SEPARATION
1. CONTINUOUS FIRE SEPARATION REQUIRED BETWEEN TWO SUITES. FIRE SEPARATION IS REQUIRED TO BE CONTINUOUS AT THE INTERSECTION OF PARTITION WALLS.
2. ALL PENETRATIONS THROUGH FIRE SEPARATIONS ARE REQUIRED TO BE SEALED BY AN APPROVED FIRE STOP SYSTEM HAVING AN F-RATING NOT LESS THAN THE FIRE-RESISTANCE RATING OF THE FIRE SEPARATION.



VICTORIA ZAMGORCHUSKA  
 BORN 4/7/92  
 UPE-92-016 # 191,147  
 QUALIFICATION INFO:  
 LARGE BUILDINGS

TEL: 613 413-6292  
 EMAIL: victoria@vzdesign.ca

1. THIS DRAWING MUST NOT BE COPIED
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF WORK.
3. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT.
4. VARIATIONS AND MODIFICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.
5. DIMENSIONS ARE TO OLD STUD FOR INTERIOR WOOD FRAMING.
6. TO EXT FACE OF FRAMING FOR NEW WOOD FRAMING, TO FACE OF INT FINISH FOR EXISTING CONSTR. F.O. CONCRETE AND MASONRY.
7. F.O. WINDOWS
8. OLD DOORS

#	DATE	REVISION
0	28 APR 22	ISSUED FOR BUILDING PERMIT

**TRIPLEX**

113 LOWER CHARLOTTE ST., OTTAWA, K1N 8K4



**SPECIFICATIONS**

**A1**



VICTORIA ZMACHEVSKA  
 BCIN# 47 342  
 VDEngZinc # 121.147  
 QUALIFICATION INFO:  
 LARGE BUILDINGS

TEL: 613.413.6262  
 EMAIL: vzmachev@vektorz.com

1. THIS DRAWING MUST NOT BE SCALED
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF WORK
3. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT
4. VARIATIONS AND MODIFICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT
5. DIMENSIONS ARE TO:
  - O.L. STUD FOR INTERIOR WOOD FRAMING
  - TO EXT FACE OF FRAMING FOR NEW WOOD FRAMING, TO FACE OF INT FINISH FOR EXISTING CONSTR.
  - F/O CONCRETE AND MASONRY
  - R/O OF WINDOWS
  - O.L. DOORS

#	DATE	REVISION
0	28 APR 22	ISSUED FOR BUILDING PERMIT

TRIPLEX

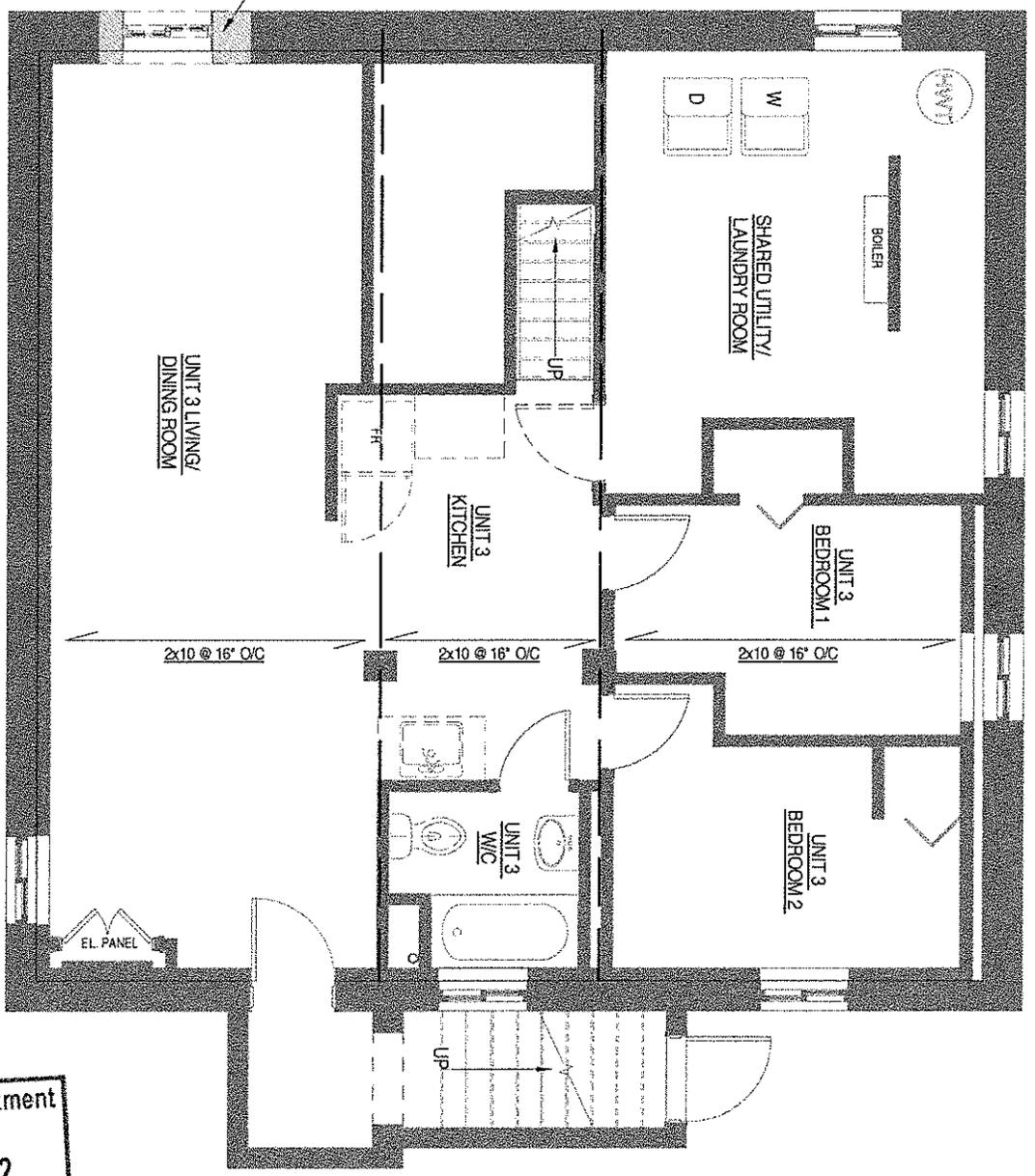
113 LOWER  
 CHARLOTTE ST,  
 OTTAWA, K1N 8K4



BASEMENT PLAN -  
 EXST & DEMO

A2.1

Committee of Adjustment  
 AUG 11 2022  
 City of Ottawa



1 BASEMENT PLAN - DEMO  
 1/4" = 1'-0"



VICTORIA ZANO-HRUSKA  
 BCIN# 47342  
 VDESIGN# 121147  
 QUALIFICATION# 150  
 LARGE BUILDINGS

TEL: 613.413.0282  
 EMAIL: vzh@vzh.ca

1. THIS DRAWING MUST NOT BE SCALED
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATINGS, AND LEVELS PRIOR TO COMMENCEMENT OF WORK
3. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT
4. VARIATIONS AND MODIFICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT
5. DIMENSIONS ARE TO:
  - O.L. STUD FOR INTERIOR WOOD FRAMING
  - TO EXT FACE OF FRAMING FOR NEW WOOD FRAMING, TO FACE OF INT FINISH FOR EXISTING CONSTR.
  - F.O. CONCRETE AND MASONRY
  - R.O. OF WINDOWS
  - O.L. DOORS

#	DATE	REVISION
0	28 APR 22	ISSUED FOR BUILDING PERMIT

TRIPLEX

113 LOWER  
 CHARLOTTE ST,  
 OTTAWA, K1N 8K4



MAIN FLOOR PLAN -  
 EXST & DEMO

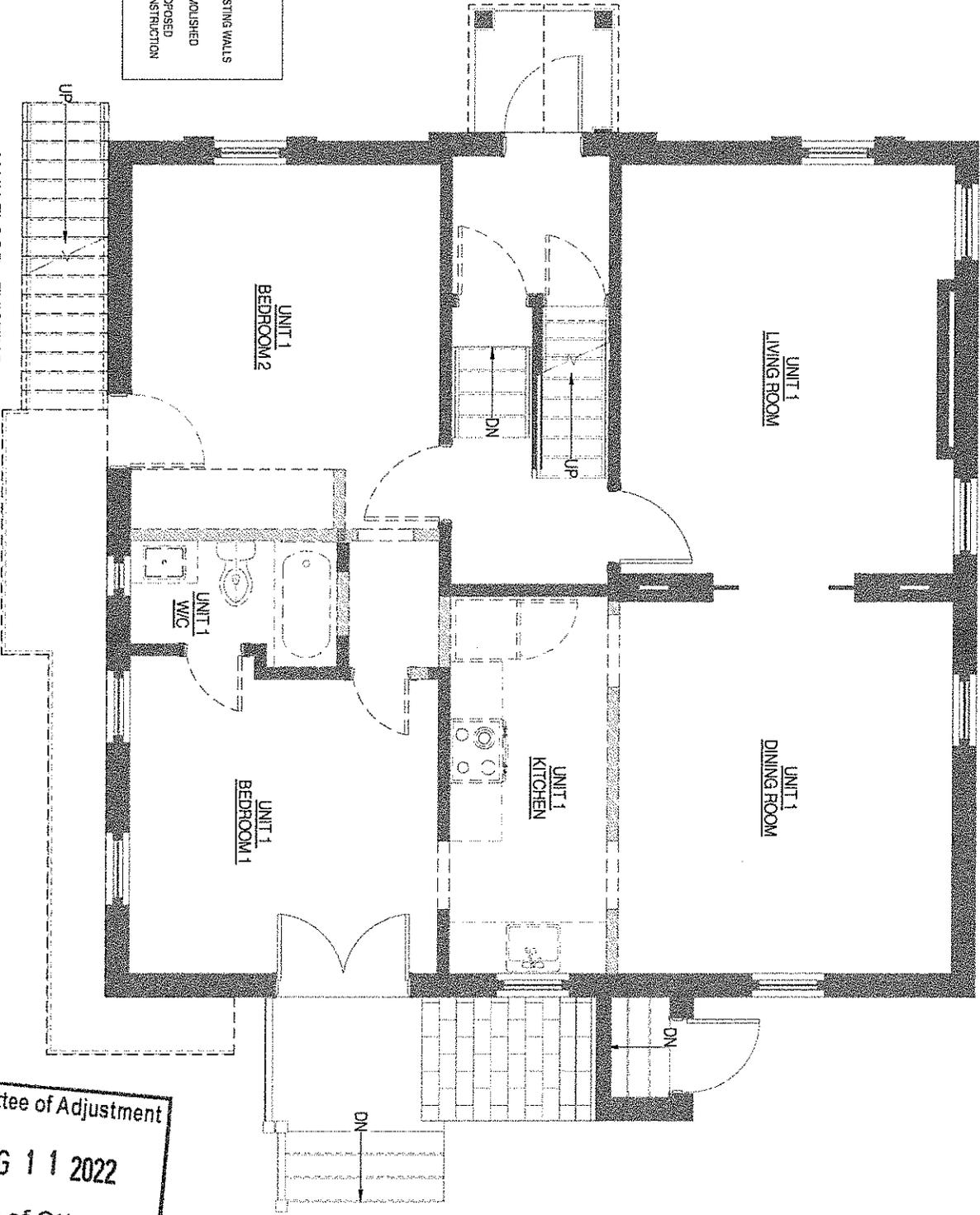
A2.2

Committee of Adjustment  
 AUG 11 2022  
 City of Ottawa

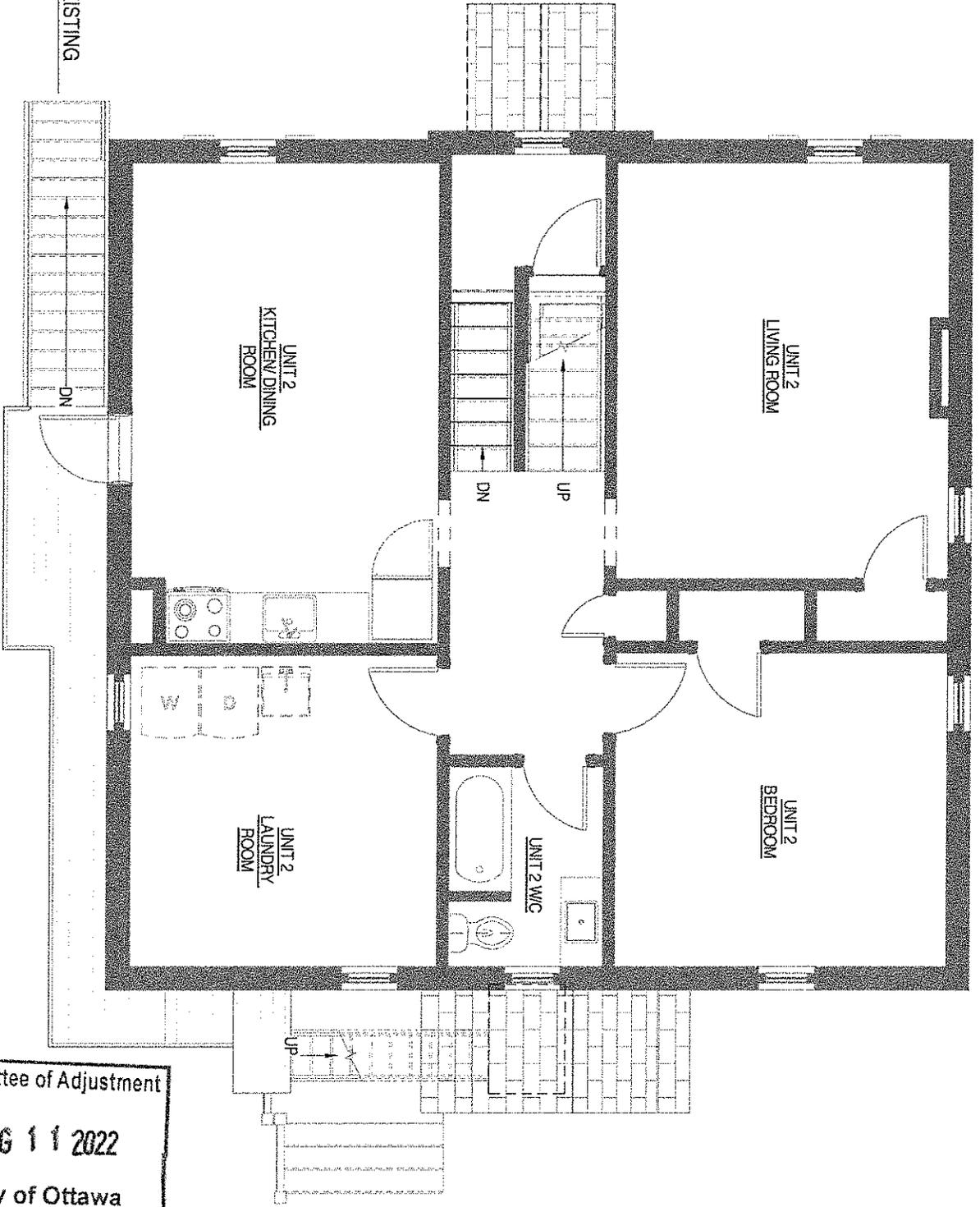
① MAIN FLOOR - EXISTING  
 1/4" = 1'-0"

**LEGEND**

	EXISTING WALLS
	DEMOLISHED
	PROPOSED CONSTRUCTION



① 2ND FLOOR- EXISTING  
 1/4" = 1'-0"



Committee of Adjustment  
 AUG 11 2022  
 City of Ottawa



VIKTORIYA ZAMOCHJEVSKA  
 BCMA 47 342  
 VDesignz Inc # 121 147  
 QUALIFICATION IN/FC-  
 LARGE BUILDINGS

TEL: 613.413.6892  
 EMAIL: victoria.zamochevska@vdesignz.ca

1. THIS DRAWING MUST NOT BE SCALED
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF WORK
3. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT
4. VARIATIONS AND MODIFICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT
5. DIMENSIONS ARE TO:
  - CL STUD FOR INTERIOR WOOD FRAMING
  - TO EXT FACE OF FRAMING FOR NEW WOOD FRAMING, TO FACE OF INT FINISH FOR EXISTING CONSTR
  - F/O CONCRETE AND MASONRY
  - CL DOORS

#	DATE	REVISION
0	28 APR 22	ISSUED FOR BUILDING PERMIT

TRIPLEX

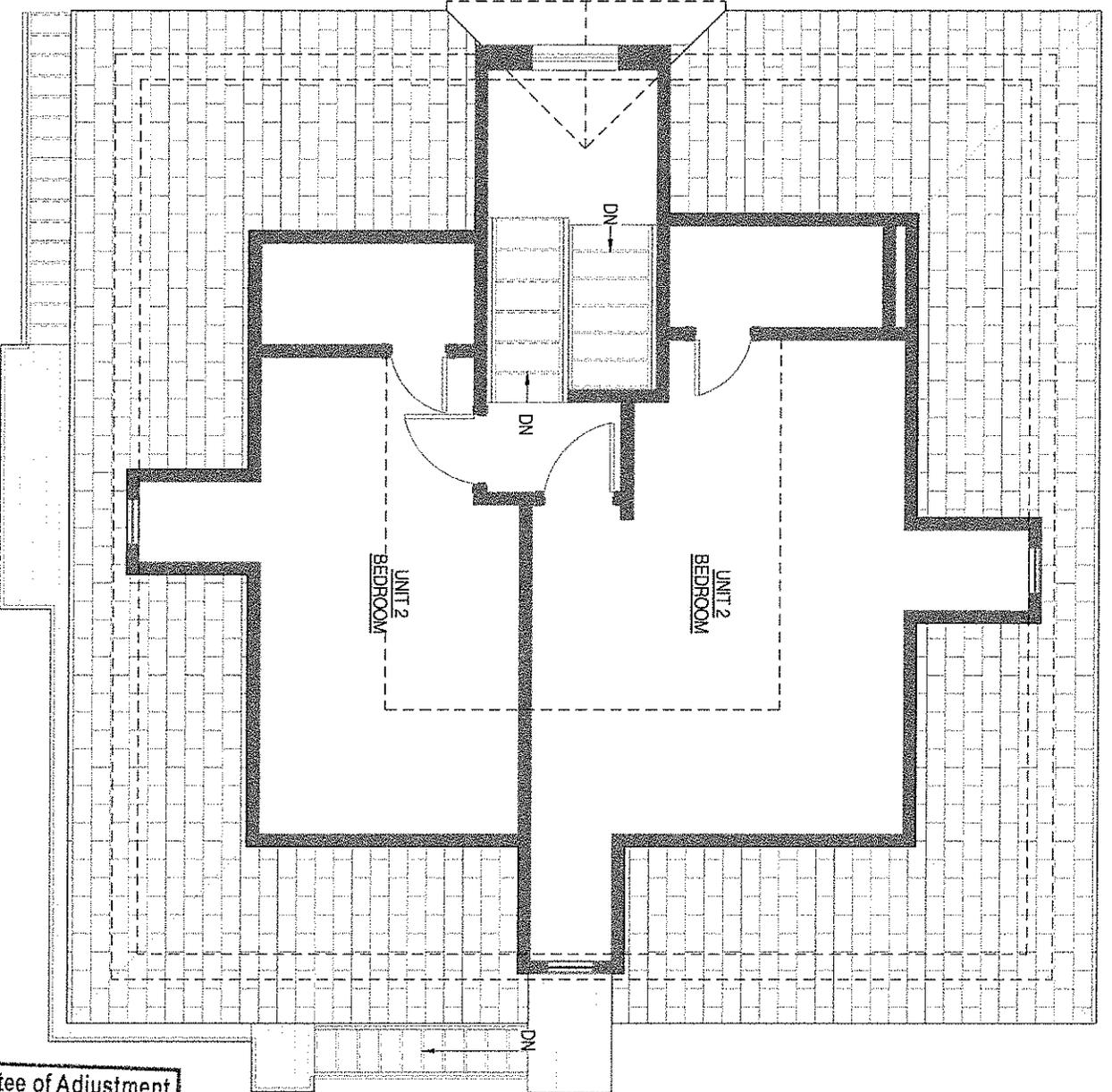
113 LOWER  
 CHARLOTTE ST,  
 OTTAWA, K1N 8K4



2ND FLOOR PLAN -  
 DEMO

A2.3

① 3RD FLOOR  
1/4" = 1'-0"



Committee of Adjustment  
AUG 11 2022  
City of Ottawa



VIKTORIYA ZAMCHENSKAYA  
BCIN# 47342  
VDesign Line # 121.147  
QUALIFICATION INFO:  
LARGE BUILDINGS

TEL: 613.413.6282  
EMAIL: videnez@vdesign.ca

1. THIS DRAWING MUST NOT BE SCALED
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF WORK
3. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT
4. VARIATIONS AND MODIFICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT
5. DIMENSIONS ARE TO:
  - OL STUD FOR INTERIOR WOOD FRAMING
  - TO EXT FACE OF FRAMING FOR NEW WOOD FRAMING, TO FACE OF INT FINISH FOR EXISTING CONSTR.
  - F/O CONCRETE AND MASONRY
  - R/O OF WINDOWS
  - OL DOORS

#	DATE	REVISION
0	28 APR 22	ISSUED FOR BUILDING PERMIT

TRIPLEX

113 LOWER  
CHARLOTTE ST,  
OTTAWA, K1N 8K4



3RD FLOOR PLAN -  
DEMO

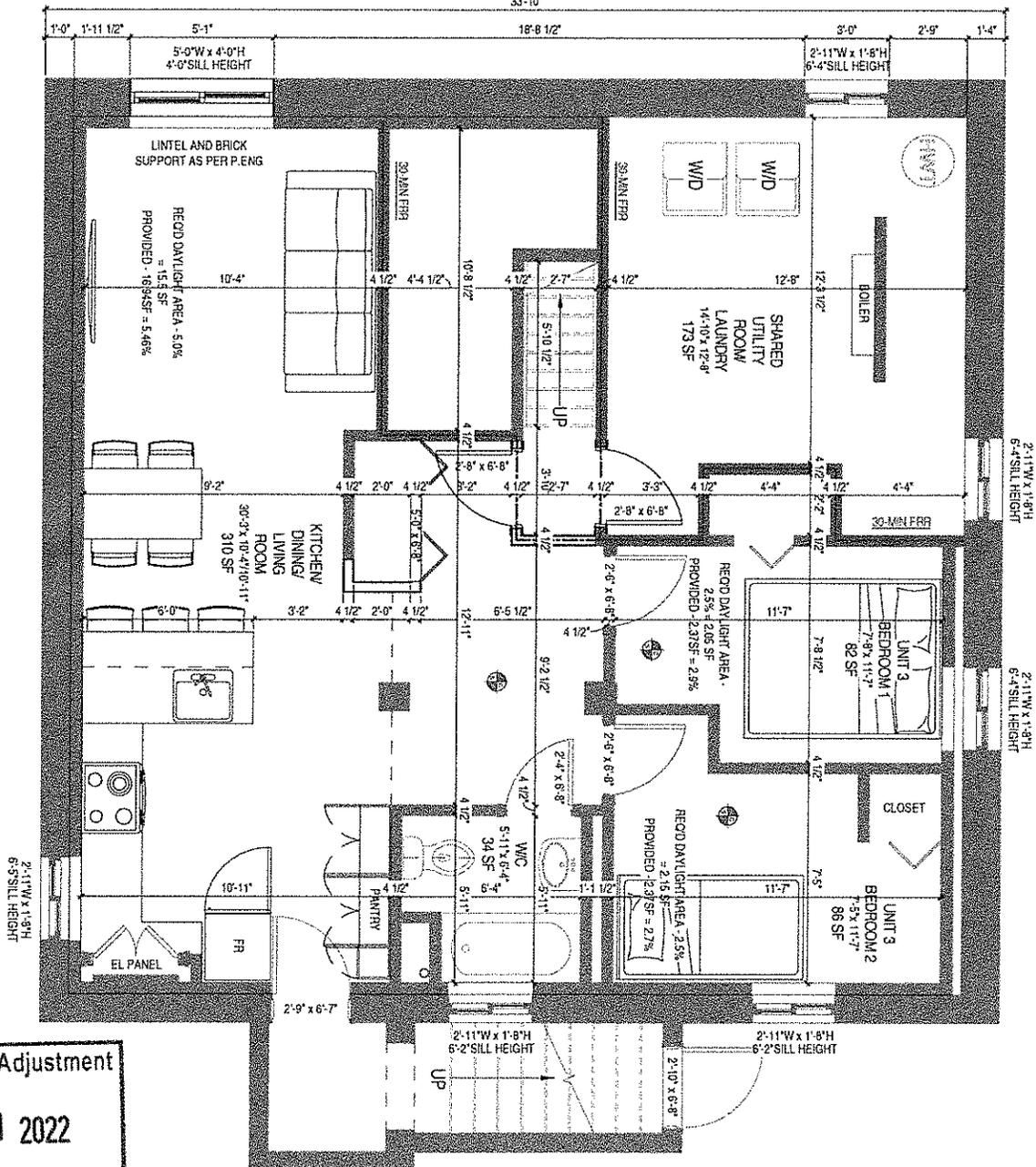
A2.4

**LEGEND**

- EXISTING WALLS
- DEMOLISHED
- PROPOSED CONSTRUCTION
- SMOKE & C.O. ALARM
- EXHAUST FAN

**NOTES:**

1. CEILING HEIGHT IN THE BASEMENT SUITE IS 8'-0"
2. EXHAUST FANS IN KITCHEN, BATHROOMS AND FOR DRYER TO BE VENTED DIRECTLY TO THE OUTSIDE.
3. BOILER IN THE BASEMENT IS HEATING ALL UNITS.
4. ALL WINDOWS ARE EXISTING UNLESS NOTED.
5. ENSURE THAT 6'-6" HEADROOM IS PROVIDED UNDER ALL BULKHEADS ON THE WAY TO EGRESS.
7. DOORS IN 30-MIN FRR ASSEMBLIES SHOULD 20-MIN FRR DOOR (SOLID CORE WOOD DOOR IS SUFFICIENT) WITH SELF-CLOSING DEVICE



1 BASEMENT PLAN - PROPOSED  
1/4" = 1'-0"

Committee of Adjustment  
AUG 11 2022  
City of Ottawa



VICTORIA ZACHER/ISKA  
BCIN #2342  
VPO#02/ins #121, 147  
OUB#02/03/INS#03  
LARGE BUILDINGS

TEL: 613.413.6292  
EMAIL: victoria@vzacher.ca

1. THIS DRAWING MUST NOT BE SCALED
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK
3. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT
4. VARIATIONS AND MODIFICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT
5. DIMENSIONS ARE TO:
  - O.L. STUD FOR INTERIOR WOOD FRAMING
  - TO EXT FACE OF FRAMING FOR NEW WOOD FRAMING, TO FACE OF INT FINISH FOR EXISTING CONSTR.
  - F.O. CONCRETE AND MASONRY
  - R.O. OF WINDOWS
  - O.L. DOORS

#	DATE	REVISION
0	28 APR 22	ISSUED FOR BUILDING PERMIT

TRIPLEX  
113 LOWER CHARLOTTE ST., OTTAWA, K1N 8K4

BASEMENT PLAN - PROPOSED

A3.1

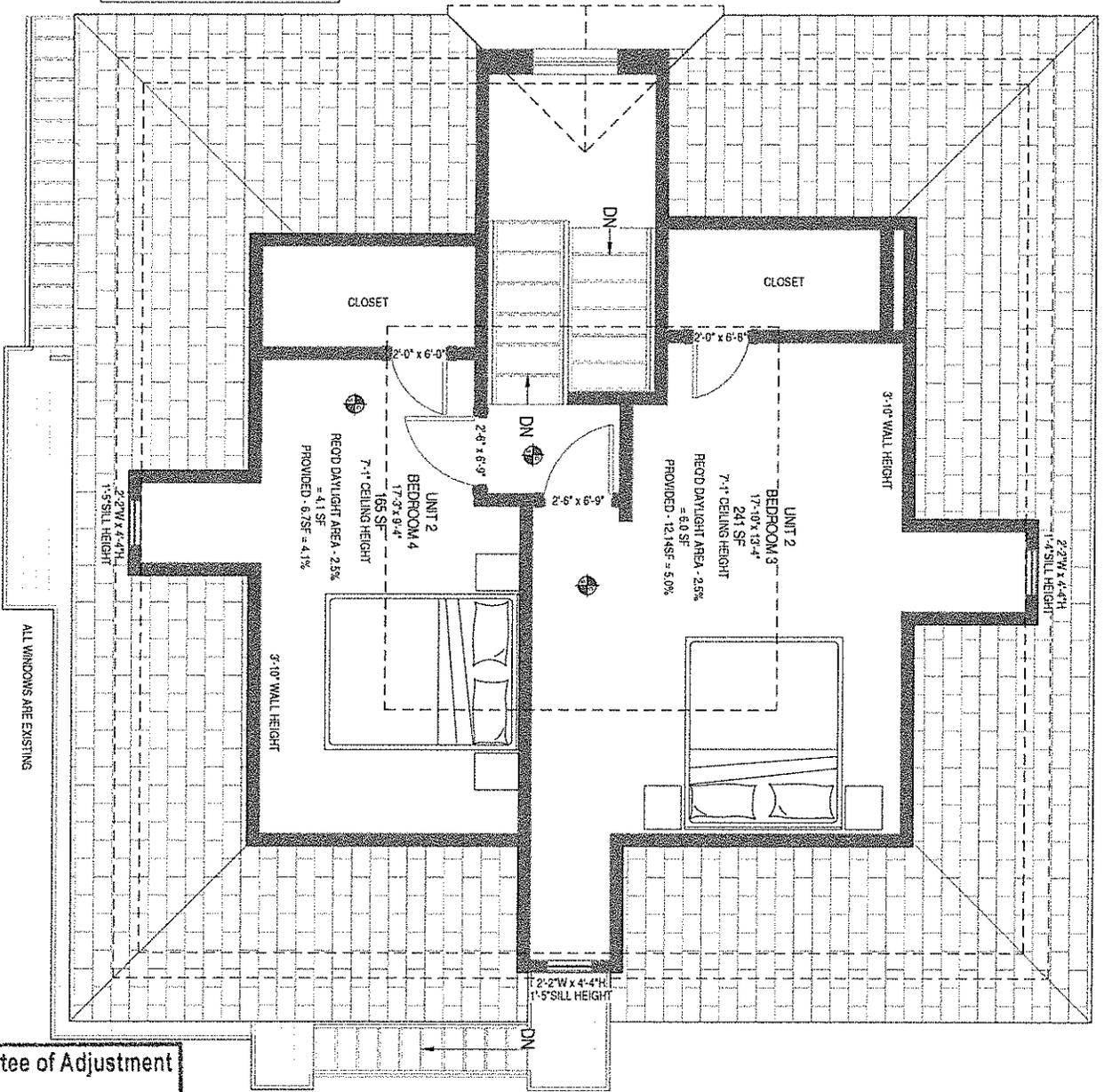




**LEGEND**

- EXISTING WALLS
- DEMOLISHED
- PROPOSED CONSTRUCTION
- SMOKE & CO. ALARM
- EXHAUST FAN

① 3RD FLOOR PLAN - PROPOSED  
1/4" = 1'-0"



Committee of Adjustment  
AUG 11 2022  
City of Ottawa



VIKTORIYA ZAKHARENKO  
BCMA # 2342  
VZdesignz inc # 121 147  
QUALIFICATION INFO:  
LARGE BUILDINGS

TEL: 613.413.6282  
EMAIL: viktoriaz@vzdesignz.ca

1. THIS DRAWING MUST NOT BE SCALED
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK
3. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT
4. VARIATIONS AND MODIFICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT
5. DIMENSIONS ARE TO:
  - OLD STUD FOR INTERIOR WOOD FRAMING
  - TO EXT FACE OF FRAMING FOR NEW WOOD FRAMING, TO FACE OF INT FINISH FOR EXISTING CONSTR.
  - FTO CONCRETE AND MASONRY
  - R/O OF WINDOWS
  - O/L DOORS

#	DATE	REVISION
0	28 APR 22	ISSUED FOR BUILDING PERMIT

TRIPLEX

113 LOWER  
CHARLOTTE ST,  
OTTAWA, K1N 8K4



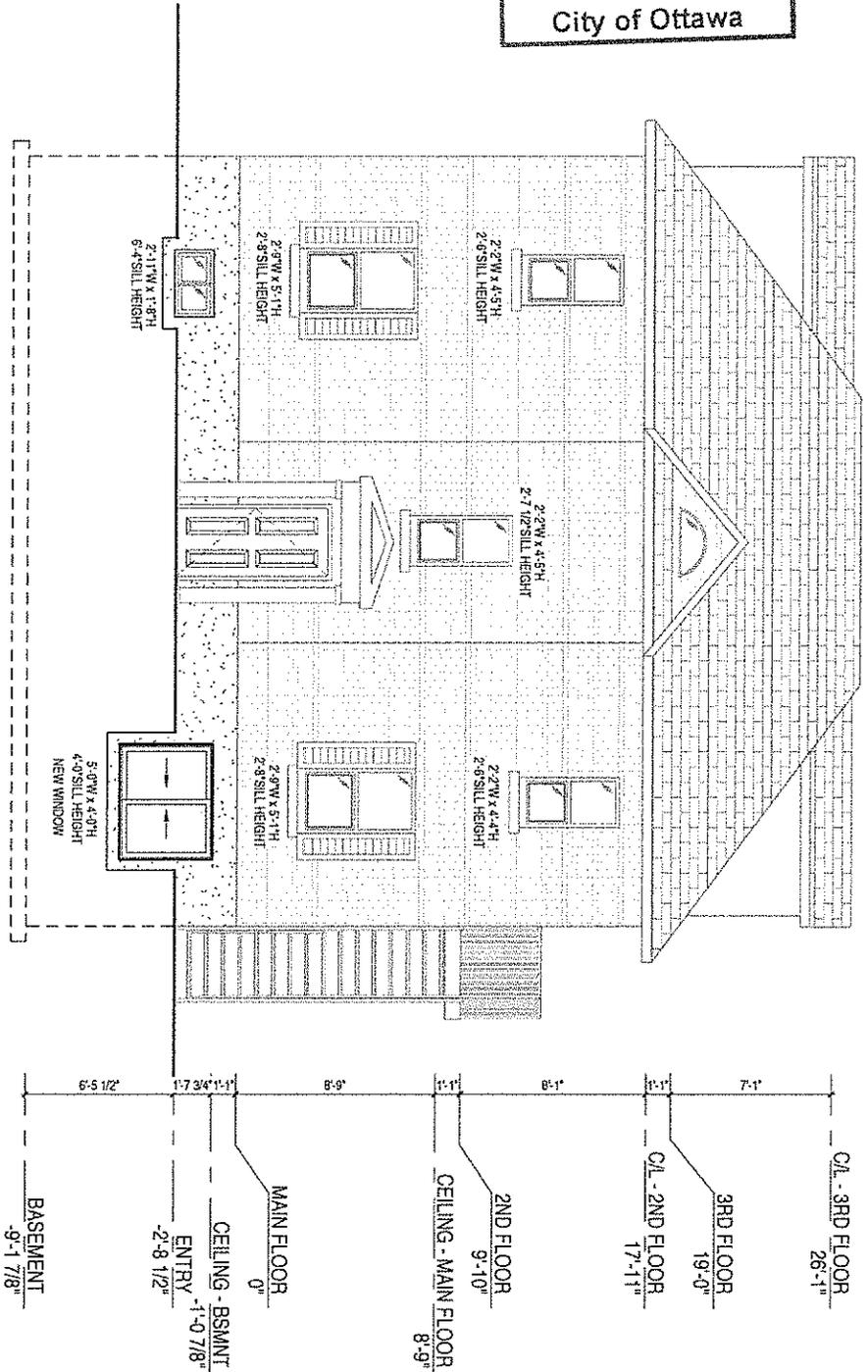
3RD FLOOR PLAN -  
PROPOSED

A3.4

Committee of Adjustment  
 AUG 11 2022  
 City of Ottawa

1 FRONT ELEVATION  
 3/16" = 1'-0"

ALL WINDOWS ARE EXISTING UNLESS NOTED



SPATIAL SEPARATION		ALL OPENINGS		PROPOSED OPENINGS	
ELEVATION	EXPRESSO BUILDING AREA (sq ft)	EXISTING OPENINGS (sq ft)	PROPOSED OPENINGS (sq ft)	EXISTING OPENINGS (sq ft)	PROPOSED OPENINGS (sq ft)
FRONT	60	18 (proposed)	44	69	8 sq
REAR	60	27	15	7	8 sq
RIGHT					
LEFT					



VIKTORIYA ZAMCHENSKAYA  
 BORN 27 202  
 VDesignZ Inc # 121 147  
 QUALIFICATION INFO:  
 LARGE BUILDINGS

TEL: 613.413.0382  
 EMAIL: v.zamchenskaya@vdesignz.ca

1. THIS DRAWING MUST NOT BE SCALED
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF WORK
3. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT
4. VARIATIONS AND MODIFICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT
5. DIMENSIONS ARE TO:
  - O.L. STUD FOR INTERIOR WOOD FRAMING
  - TO EXT FACE OF FRAMING FOR NEW WOOD FRAMING, TO FACE OF INT FINISH FOR EXISTING CONSTR
  - F.O CONCRETE AND MASONRY
  - B.O OF WINDOWS
  - O.L DOORS

#	DATE	REVISION
0	28 APR 22	ISSUED FOR BUILDING PERMIT

TRIPLEX

113 LOWER CHARLOTTE ST,  
 OTTAWA, K1N 8K4

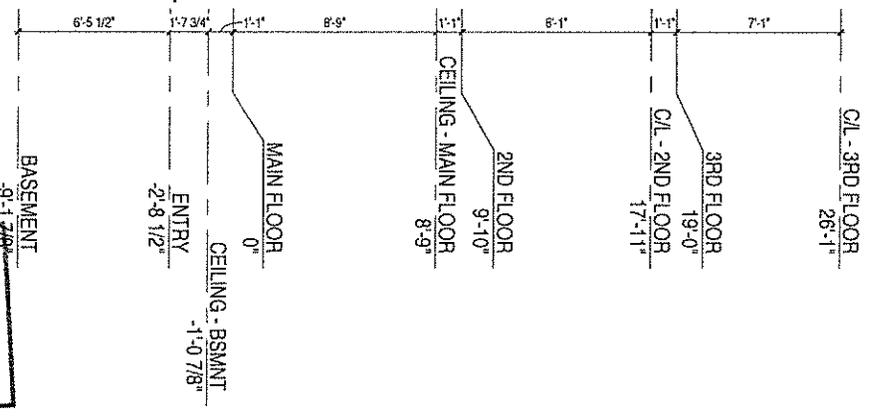
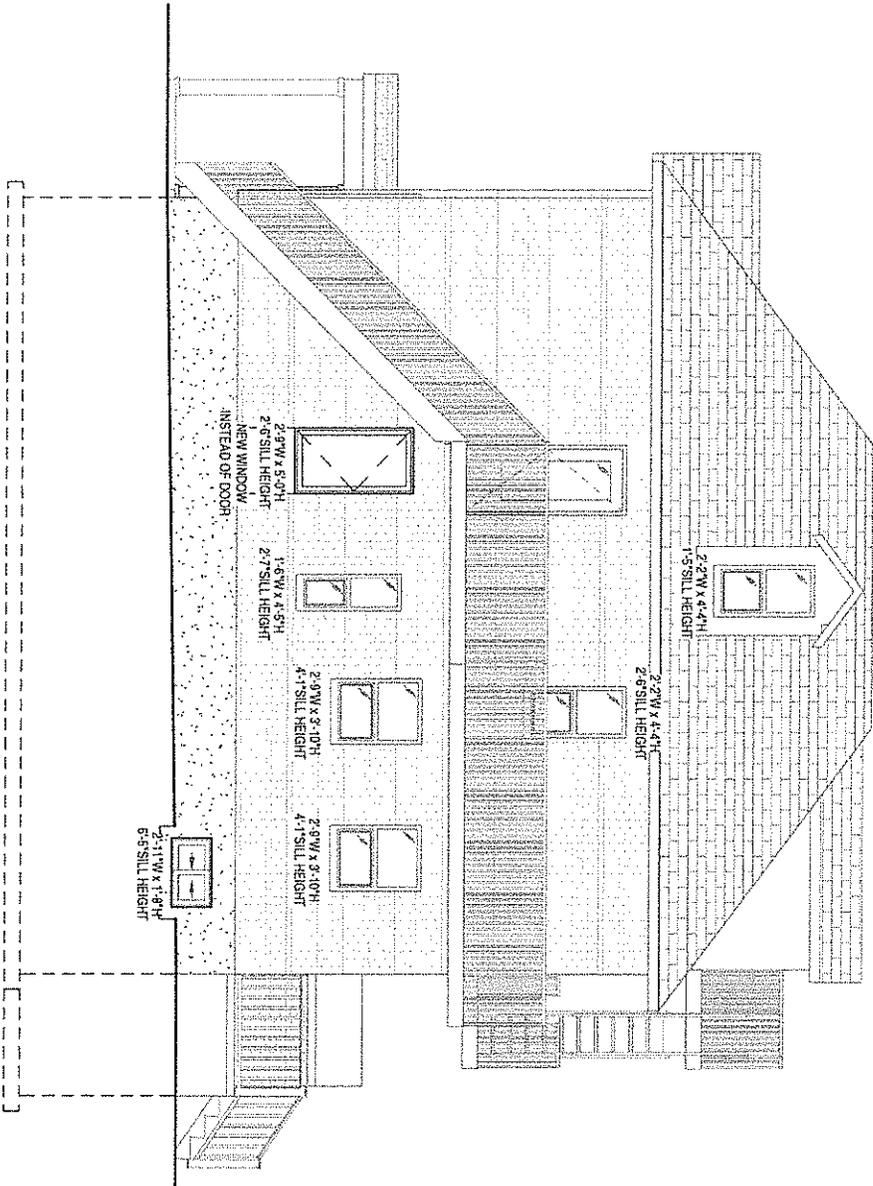


ELEVATIONS

A4.1

ALL WINDOWS ARE EXISTING UNLESS NOTED

① RIGHT ELEVATION  
3/16" = 1'-0"



Committee of Adjustment

AUG 11 2022

City of Ottawa



VICTORIA ZAMCHENSKAYA  
BCIN# 47342  
VDS# 2019# 121, 147  
QUALIFICATION INFO:  
LARGE BUILDINGS

TEL: 613.413.8892  
EMAIL: victoria.zamchensky@vzarchitects.ca

1. THIS DRAWING MUST NOT BE SCALED
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF WORK
3. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT
4. VARIATIONS AND MODIFICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT
5. DIMENSIONS ARE TO:
  - CL STUD FOR INTERIOR WOOD FRAMING
  - TO EXT FACE OF FRAMING FOR NEW WOOD FRAMING, TO FACE OF INT FINISH FOR EXISTING CONSTR.
  - F/O CONCRETE AND MASONRY
  - R/O OF WINDOWS
  - CL DOORS

#	DATE	REVISION
0	28 APR 22	ISSUED FOR BUILDING PERMIT

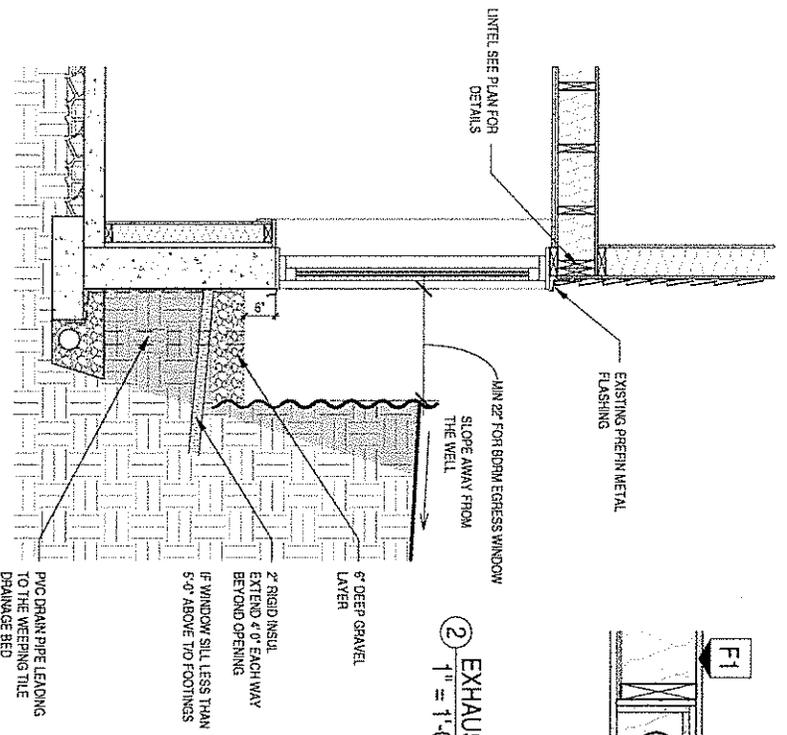
TRIPLEX

113 LOWER CHARLOTTE ST, OTTAWA, K1N 8K4

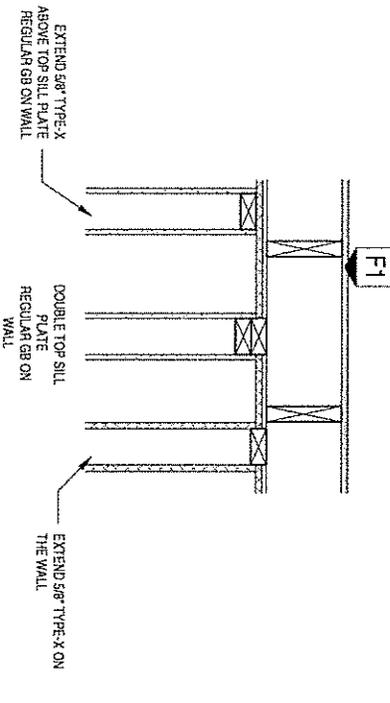
 N

ELEVATIONS

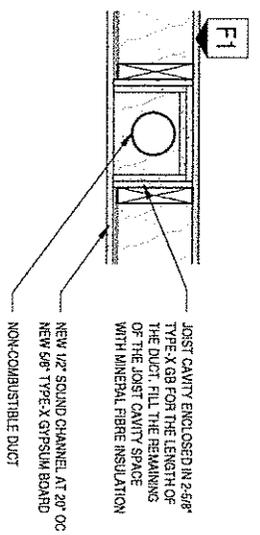
A4.2



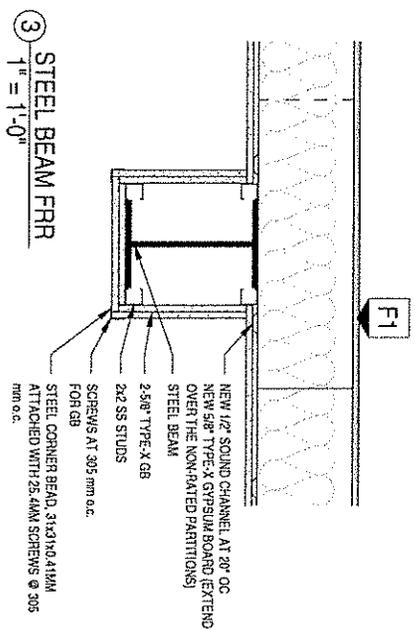
① WINDOW SECTION  
1 1/2" = 1'-0"



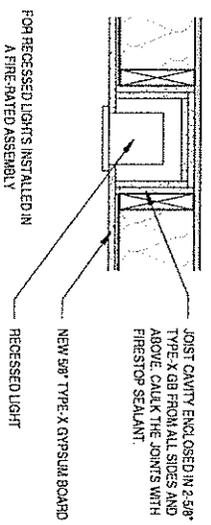
⑥ PARTITION WALLS @ FIRE-RATED MEMBRANE  
1" = 1'-0"



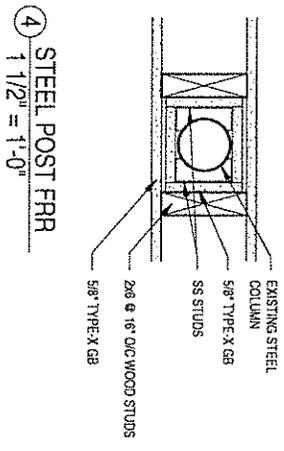
② EXHAUST DUCT FRR  
1" = 1'-0"



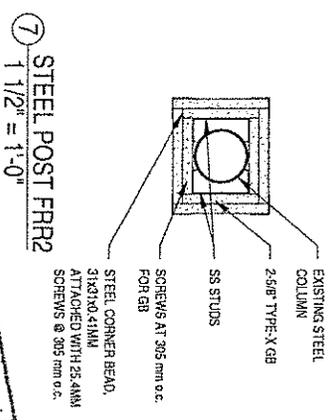
③ STEEL BEAM FRR  
1" = 1'-0"



⑤ RECESSED LIGHT FRR  
1" = 1'-0"



④ STEEL POST FRR  
1 1/2" = 1'-0"



⑦ STEEL POST FRR2  
1 1/2" = 1'-0"

Committee of Adjustment  
AUG 11 2022  
City of Ottawa



VICTORIA ZAMCHENSKAYA  
SORNA # 242  
VDS-602 Inc # 231-147  
QUALIFICATION: RFO  
LARGE BUILDINGS

TEL: 613.413.8892  
EMAIL: victoria@vdsignz.ca

1. THIS DRAWING MUST NOT BE SCALED
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DETAILS AND LEVELS PRIOR TO COMMENCEMENT OF WORK
3. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT
4. VARIATIONS AND MODIFICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT
5. DIMENSIONS ARE TO:
  - O.L. STUD FOR INTERIOR WOOD FRAMING
  - TO EXT FACE OF FRAMING FOR NEW WOOD FRAMING, TO FACE OF INT FINISH FOR EXISTING CONSTR.
  - F.O. CONCRETE AND MASONRY
  - I.O. OF WINDOWS
  - O.L. DOORS

#	DATE	REVISION
0	28 APR 22	ISSUED FOR BUILDING PERMIT

TRIPLEX

113 LOWER CHARLOTTE ST,  
OTTAWA, K1N 8K4



DETAILS

A5.1