

Plan of

## FARLEY, SMITH &amp; DENIS SURVEYING LTD. 2022

5	7.5	10 metres
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Distances of this kind are in inches and can be converted to feet by dividing by 0.3048.

**Distance Note**  
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

**Bearing Note**  
Bearing vectors are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude)  
Nad-83 (Original).

bearings on P1, P2, P3, P4 & P5

## Notes & Legend

—	Survey Monument Found
5/8	Survey Monument Found
SS/8	Standard Iron Bar
CD	Sheet Standard Iron Bar
CD	Old Cross
CD	Concrete Pin
W/H	Witness
Meas	Measured
[p21]	Registered Plan 43386
[p21]	Plan by [p21] dated September 6, 1985 (file: 633-485)
[p21]	Plan by [p21] dated November 23, 1993 (file: 634-89)
[p21]	Plan by [p21] dated February 13, 1994 (file: 634-89)
[p21]	Plan by [p21] dated February 13, 1994 (file: 634-89)
[p21]	Plan by [p21] dated March 11, 1996 (file: 124-380)
[p21]	Old Meter
CD	Ball Terminal Box
a 79-8	Board Fence
W/H	Welded Fence
CD	Centurine
C/L	Property Line

**Deciduous Tree** - The Symbol shown denotes location and trunk diameter only. Size of its root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

## PART 2

### 1. REGISTERED RIGHTS-OF-WAY/EASEMENTS

- No right-of-way or easements were found to be registered against the subject property.
- PROPERTY IMPROVEMENTS  
The location of the fence, shed, interlock walkway & concrete in relation to the property lines are noted on the plan.
- COMPLIANCE WITH MUNICIPAL ZONING BYLAWS  
Compliance is not certified by this report.
- ADDITIONAL REMARKS  
Site Area=258.3 sq.m.

THIS REPORT WAS PREPARED FOR:

Marina Kovacs ("The Client"), the Client's solicitors, mortgagees, and other related parties. The undersigned accepts no responsibility for use by other parties. See Part 2 of this Report.

### Surveyor's Certificate

1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
2. The survey was completed on the 8th day of July, 2022.

Date July 12, 1992

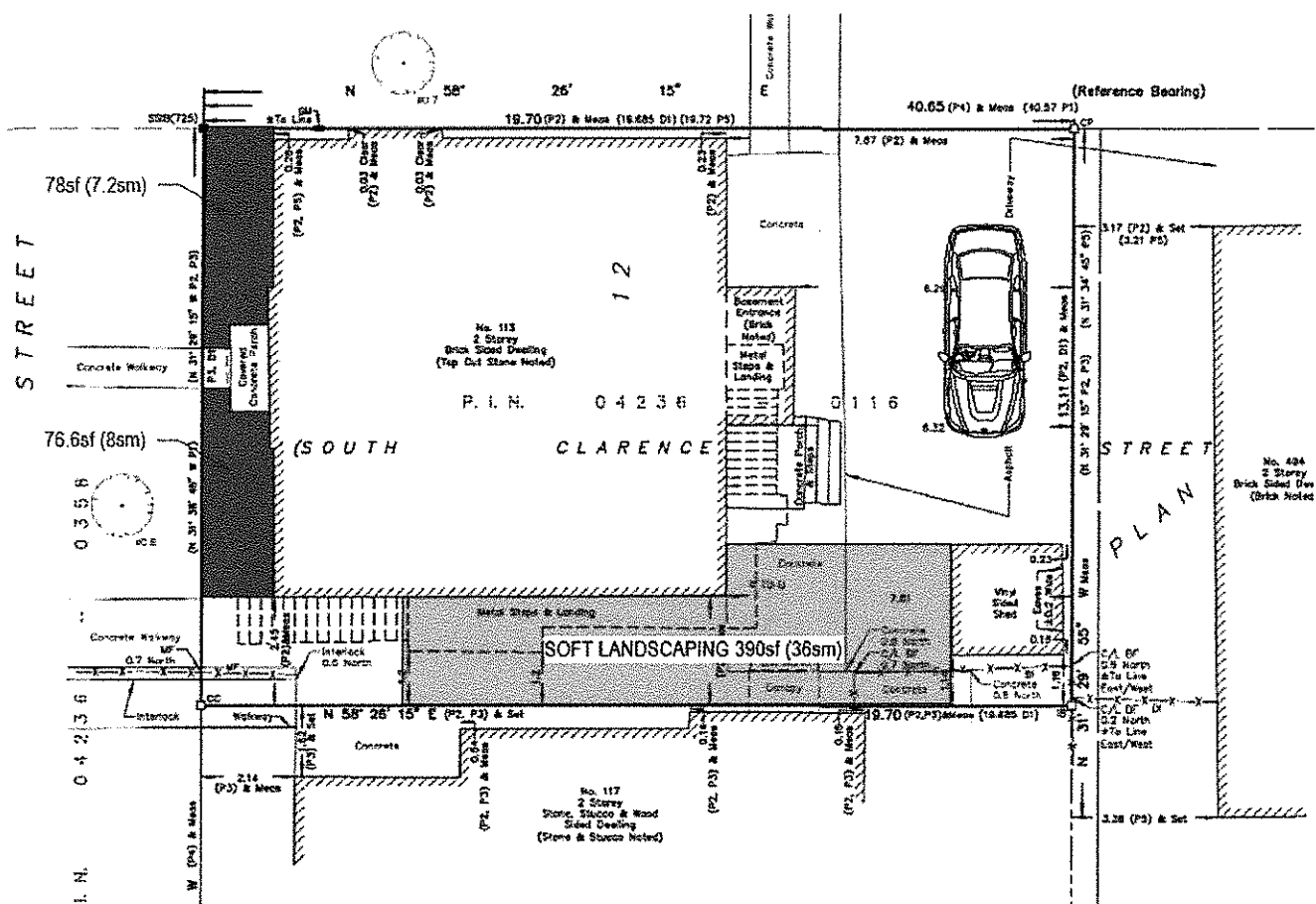
Janice Leslie

THIS PRINT OF SURVEY RELATES TO AOLD FIDEL SUBMISSION FORM (NUMBER V-28513)

**FARLEY, SMITH & DENIS SURVEYING LTD.**

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Committee of Adjustment

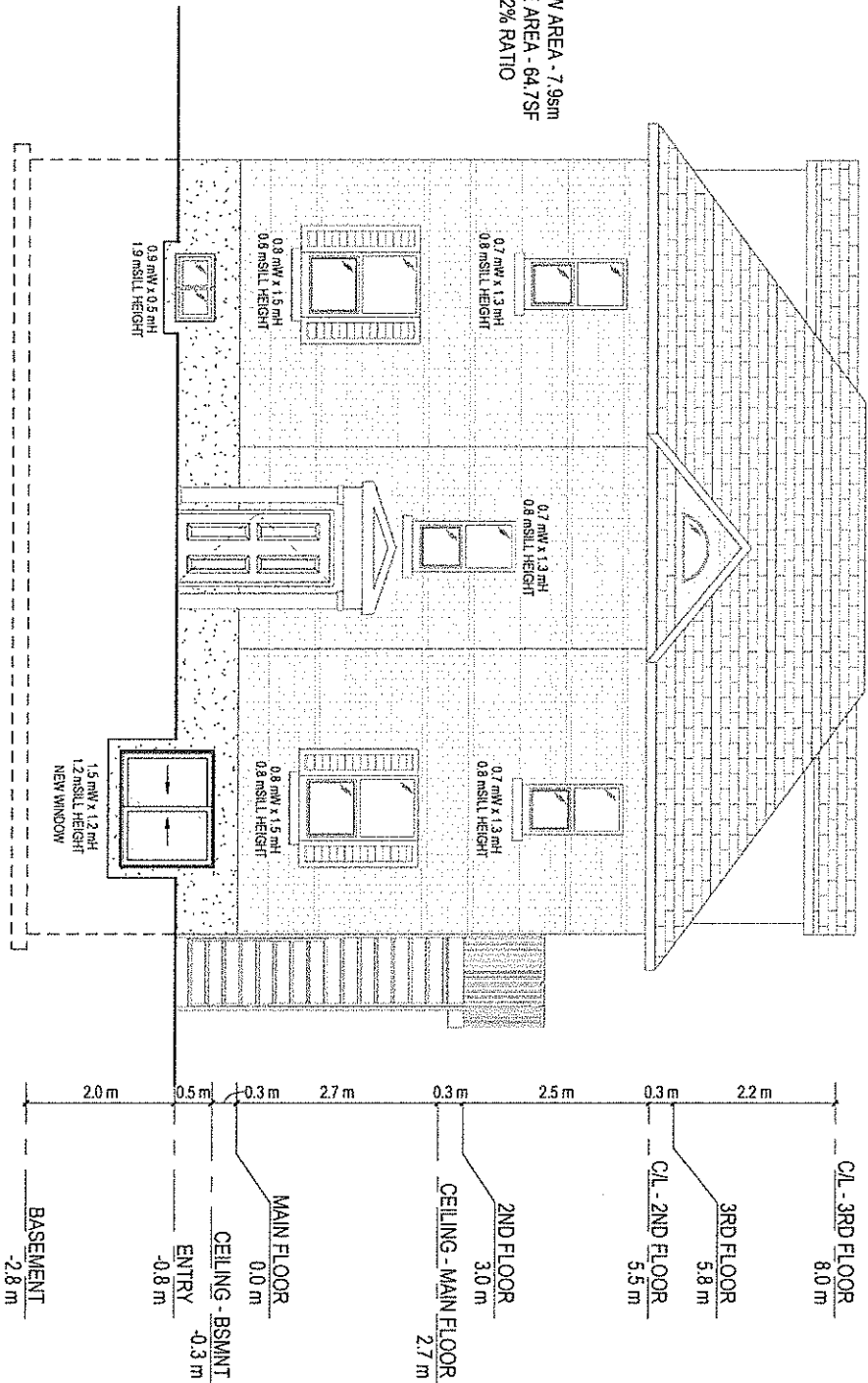
AUG 11 2022

City of Ottawa

WINDOW AREA - 7.95m  
FACADE AREA - 64.75SF  
12.2% RATIO

① FRONT ELEVATION  
1:64

ALL WINDOWS ARE EXISTING UNLESS NOTED



SPACING SEPARATION			
EXISTING ELEVATION	EXISTING WINDOW AREA (m <sup>2</sup> )	ALLOWED ELEVATION	ALLOWED WINDOW AREA (m <sup>2</sup> )
FRONT	63	10 PERCENT	6.3
REAR	63	22 PERCENT	13.86
LEFT	63	22 PERCENT	13.86



VIKTORIA ZANCHOVSKA  
BORN 27.3.42  
VDS-5062 line # 121.167  
QUALIFICATION INFO:  
LARGE BUILDINGS

TEL: 613.413.6262  
EMAIL: viktoriya@vdsinc.ca

1. THIS DRAWING MUST NOT BE SCALED
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF WORK
3. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO CONSULTANT
4. VARIATIONS AND MODIFICATIONS TO WORK SHOWN IN THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT
5. DIMENSIONS ARE TO:
  - CL STUD FOR INTERIOR WOOD FRAMING
  - TO EXT FACE OF FRAMING FOR NEW WOOD FRAMING, TO FACE OF INT FINISH FOR EXISTING CONSTR.
  - TO CONCRETE AND MASONRY
  - TO WINDOWS
  - TO DOORS

#	DATE	REVISION
1	27 JULY 22	REVISION 1
0	28 APR 22	ISSUED FOR BUILDING PERMIT

TRIPLEX

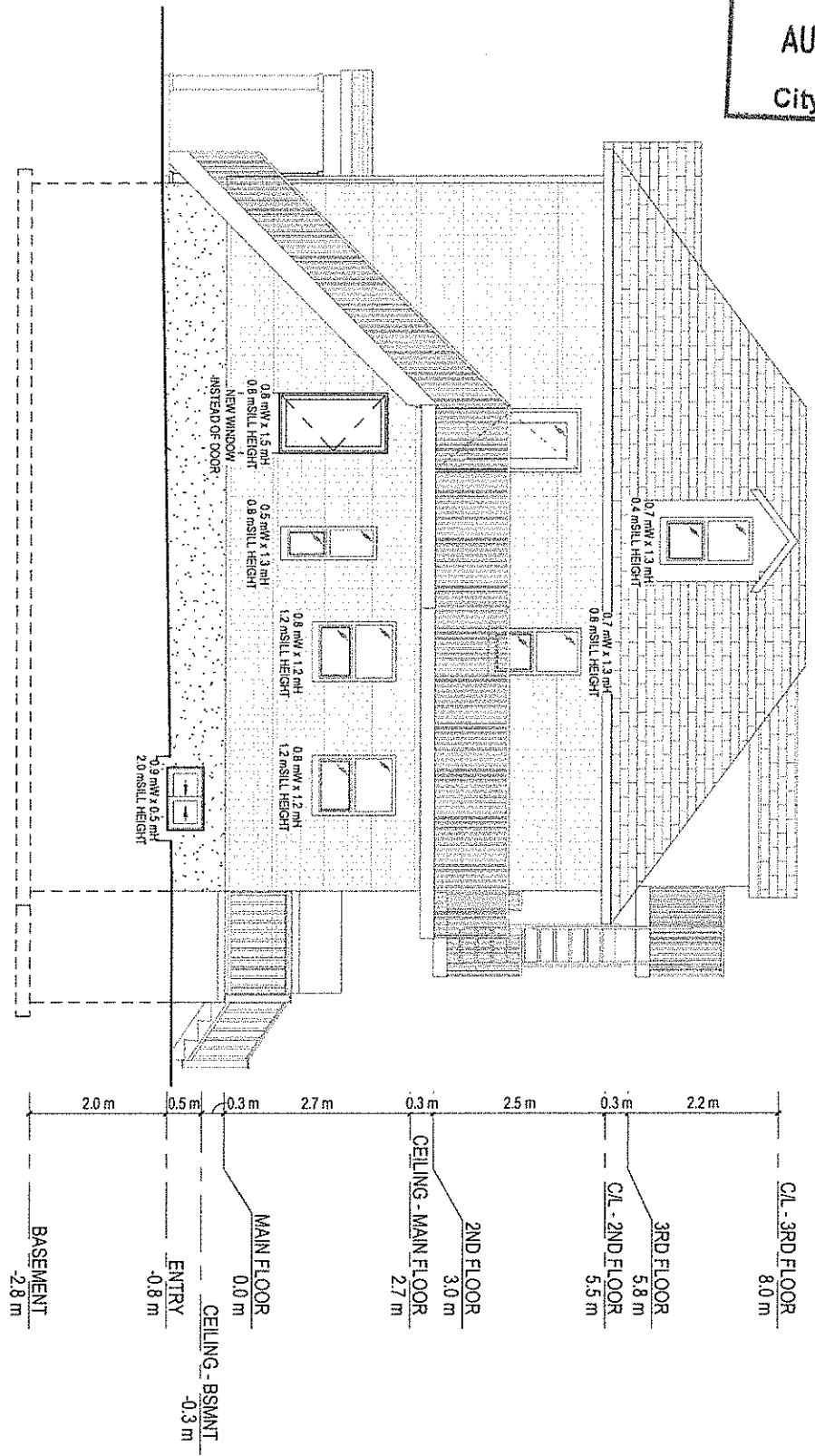
113 LOWER  
CHARLOTTE ST.,  
OTTAWA, K1N 8K4

ELEVATIONS

A4.1

① RIGHT ELEVATION  
1:64

ALL WINDOWS ARE EXISTING UNLESS NOTED



VICTORIA ZACHAROVSKA  
BCIN# 47342  
VDesignZ Inc # 121 147  
QUALIFICATION INFO  
LARGE BUILDINGS  
TEL: 613 413 6282  
EMAIL: victoria@vdesignz.ca

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  - RIO OF WINDOWS
  - CL DOORS

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TRIPLEX

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CHARLOTTE ST,  
OTTAWA, K1N 8K4

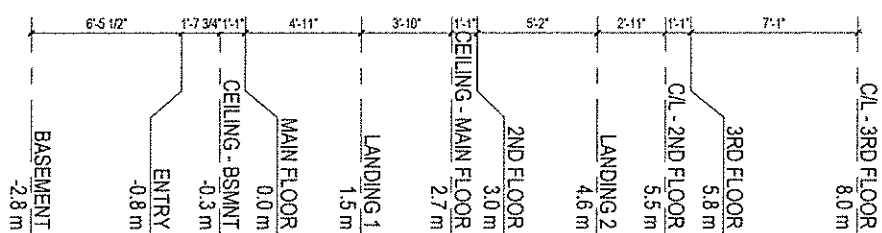
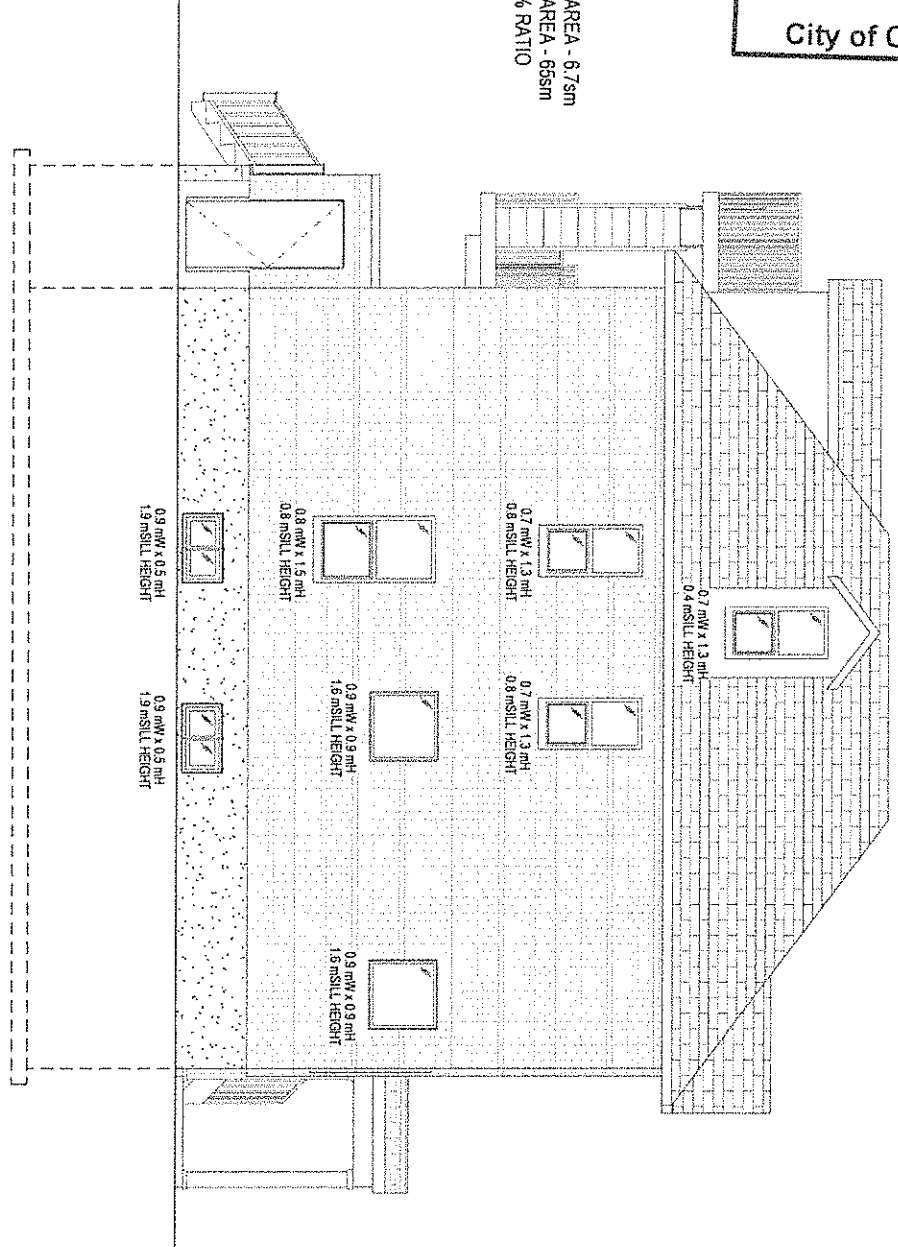
ELEVATIONS

A4.2

WINDOW AREA - 6.73m  
FACADE AREA - 66sm  
10.3% RATIO

ALL WINDOWS ARE EXISTING

① LEFT ELEVATION  
1:64



VICTORIA ZAKHARENKO  
BCIA # 27 242  
VOC # 21 147  
QUALIFICATION INFO:  
LARGE BUILDINGS  
TEL: 613.613.6262  
EMAIL: victoria@vzdesign.ca

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  - FTO CONCRETE AND MASONRY
  - R/O OF WINDOWS
  - C/L DOORS

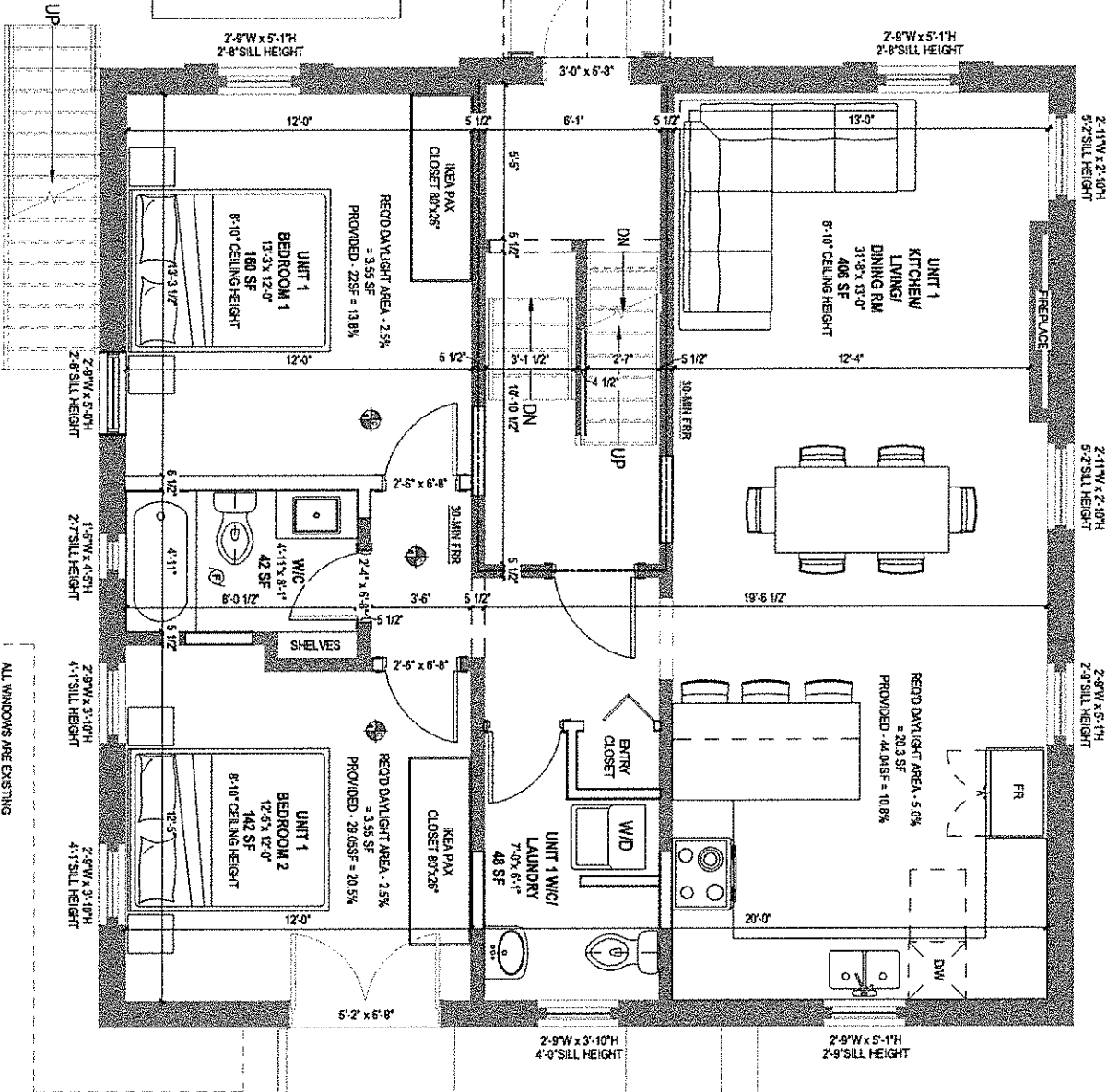
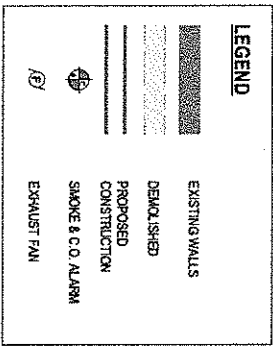
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TRIPLEX

113 LOWER  
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OTTAWA, K1N 8K4

ELEVATIONS

A4.3



① MAIN FLOOR PLAN - PROPOSED  
1/4" = 1'-0"

Committee of Adjustment

AUG 11 2022

City of Ottawa

A3.2

MAIN FLOOR PLAN -  
PROPOSED



113 LOWER  
CHARLOTTE ST,  
OTTAWA, K1N 8K4

TRIPLEX

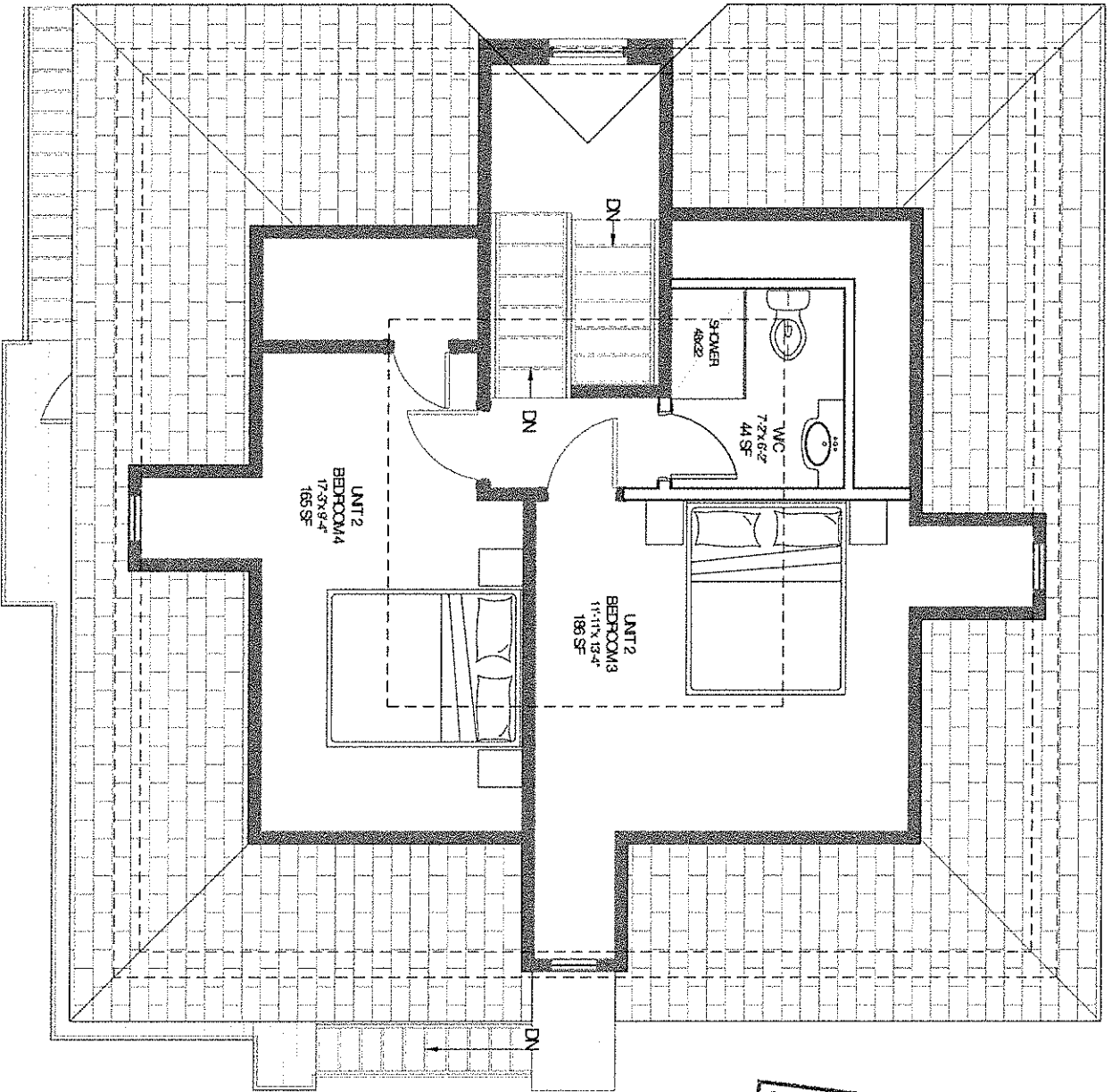
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5. DIMENSIONS ARE TO:
  - C.A. STUD FOR INTERIOR WOOD FRAMING
  - TEXT FACE OF FRAMING FOR NEW WOOD FRAMING TO FACE OF INT. FINISH FOR EXISTING CONSTR.
  - F.O. CONCRETE AND MASONRY
  - R.O. OF WINDOWS
  - C.O. DOORS

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
THESE DRAWINGS ARE INTENDED TO CONVEY  
DESIGN INTENT ONLY.  
24 JUNE 22



**LEGEND**

	EXISTING WALLS
	DEMOLISHED
	PROPOSED CONSTRUCTION
	SMOKE & CO. ALARM
	EXHAUST FAN



① 3RD FLOOR PLAN - PROPOSED  
1/4" = 1'-0"

Committee of Adjustment  
AUG 11 2022  
City of Ottawa



**PRELIMINARY**  
NOT FOR CONSTRUCTION  
THESE DRAWINGS ARE INTENDED TO INDICATE  
DESIGN ONLY.  
19 APR 22

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  - FINISH FOR EXISTING CONSTRUCTION
  - FINISH FOR CONCRETE AND MASONRY
  - FINISH FOR WINDOWS
  - FINISH FOR DOORS

TRIPLEX

113 LOWER  
CHARLOTTE ST

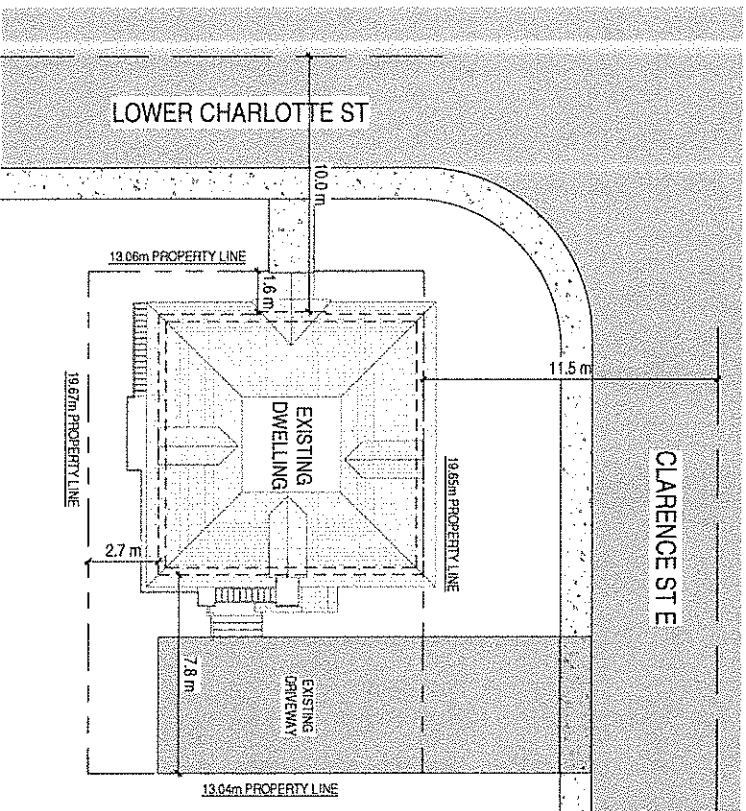


3RD FLOOR PLAN -  
PROPOSED

A3.4

# 113 LOWER CHARLOTTE ST, OTTAWA, K1N 8K4

## TRIPLEX



① SITE PLAN  
1/16" = 1'-0"

### WALL AND PARTITION TYPES

ALL INTERIOR PARTITION WALLS TO BE P1 UNLESS OTHERWISE SPECIFIED.  
ALL PARTITIONS MARKED AS 30-MIN FRR TO BE P2

#### W1 FOUNDATION WALL - NEW

WATERPROOFING  
EXST CONC BLOCK  
NEW 1" RIGID INSUL, R-5  
NEW 2x4 WOOD STUDS @ 16" o.c.  
NEW 3 1/2" BATF  
INSULATION (R-15)

NEW 6mil VAPOR BARRIER  
NEW 5/8" TYPE-X GB (OR 1/2" GYPSUM BOARD IF CEILING MEMBRANE IS EXTENDED ABOVE THE WALL)

#### P1 INTERIOR WALLS - NEW

1/2" DRYWALL  
2x4 WOOD STUDS @ 16" o.c.  
1/2" DRYWALL

### OPTIONS FOR P2 - INTERIOR PARTITION, 30-MIN FRR REQ'D

#### OBC-W1a (1HR FRR, 38 STC)

5/8" TYPE-X GB  
2x4 WOOD STUDS @ 16" o.c.  
MINERAL WOOL IN THE CAVITY  
5/8" TYPE-X GB

#### OBC-W1d (1HR FRR, 32 STC)

5/8" TYPE-X GB  
2x4 WOOD STUDS @ 16" o.c.  
NO MINERAL WOOL IN THE CAVITY  
5/8" TYPE-X GB

#### OBC-W1c (45MIN FRR, 32 STC)

1/2" REGULAR DRYWALL  
2x4 WOOD STUDS @ 16" o.c.  
MINERAL WOOL IN THE CAVITY  
1/2" REGULAR DRYWALL

#### OBC-W3a (1-HR FRR, 45 STC)

5/8" TYPE-X GB  
2x4 WOOD STUDS @ 16" o.c.  
MINERAL WOOL IN THE CAVITY  
RESILIENT METAL CHANNELS @ 16" OR 20" o.c.  
5/8" TYPE-X GB

### FLOORS AND CEILING TYPES

#### F1 FLOOR BETWEEN UNITS

30-MIN FRR REQ'D, 50-MIN FRR PROVIDED

EXISTING 5/8" PLYWOOD SUBFLOOR  
EXISTING 2x10 JOISTS @ 16" o.c.  
(10MIN FRR AS PER T.2.3.4.C., SB-2)  
ADD 6" MINERAL FIBRE INSULATION IN CAVITY  
ADD RESILIENT METAL CHANNELS @ 20" o.c.  
ADD 5/8" TYPE-X GYPSUM BOARD  
(40MIN FRR AS PER T.2.3.4.A., SB-2)

WRAP SUPPORTING STEEL BEAMS AND POSTS WITH 5/8" TYPE-X GYPSUM BOARD.

FIRE-RATED CEILING MEMBRANE SHOULD BE EXTENDED OVER THE TOP PLATE OF NON-LOADBEARING WALLS.



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  - F.O. CONCRETE AND MASONRY
  - B.O. OF WINDOWS
  - O.L. DOORS

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### TRIPLEX

113 LOWER CHARLOTTE ST,  
OTTAWA, K1N 8K4



### TITLE SHEET

A0



GENERAL NOTES

1. THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS TO CONFORM TO THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE & THE CSA STANDARDS. THE LATEST REVISIONS TO ALL STANDARDS WILL CONFORM.
2. THE CONTRACTORS SHALL CHECK AND VERIFY ALL CONDITIONS AND MEASUREMENTS ON SITE AND REPORT ANY DISCREPANCIES OR ON SITE CONDITIONS THAT MAY NEGATIVELY AFFECT THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE DRAINAGE REQUIRED FOR CONSTRUCTION.
3. DO NOT SCALE DRAWINGS
- 4.

WOOD FRAMING

1. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, C-905.320.2, LATEST REVISIONS.
2. ALL STRUCTURAL FRAMING LUMBER IS TO BE SP# NO.2 GRADE OR BETTER, UNLESS NOTED. STUD GRADE IS NOT ACCEPTABLE FOR BEARING WALLS, LINTELS AND POSTS.
3. ALL LOAD BEARING WALLS OVER 9'-0" TO 12'-0" TO HAVE HORIZONTAL BLOCKING AT MID-HEIGHT. ALL LOAD BEARING WALLS OVER 12'-0" TO HAVE CONTINUOUS HORIZONTAL BLOCKING AT THIRD POINTS.
4. ALL BEAMS REQUIRE RESTRAINT AGAINST LATERAL DISPLACEMENT AND ROTATION AT THE POINT OF BEARING.

5. FOR BUILT-UP BEAMS, IT IS ASSUMED THAT EACH PLY IS A SINGLE CONTINUOUS MEMBER FASTENED TOGETHER SECURELY AT INTERVALS NOT EXCEEDING 4 TIMES THE DEPTH AND THAT EACH PLY IS EQUALLY LOADED. (SEE 9.2.3.8.2.7.10 FOR FASTENING MEMBERS)
6. BUILT-UP RECTANGULAR COMPRESSION MEMBERS SHALL CONSIST OF INDIVIDUAL MEMBERS OF EQUAL LENGTH FASTENED TOGETHER USING NAILS, LAG SCREWS OR BOLTS.
7. WHEN USED, NAILS SHALL PENETRATE THROUGH AT LEAST OF 3/4 OF THE THICKNESS OF THE LAST INDIVIDUAL PIECE. THE NAILS SHALL BE DRIVEN FROM EITHER FACE OF THE BUILT-UP MEMBER ALONG THE LENGTH.

8. ALL EXPOSED EXT. WOOD TO BE PRESSURE TREATED (P 1)

9. WHEN INDIVIDUAL PIECES OF THE BUILT-UP MEMBER ARE WIDER THAN 3 TIMES THEIR THICKNESS, THERE SHOULD BE AT LEAST 2 ROWS OF FASTENERS ACROSS THE MEMBER WIDTH

HANDRAILS

1. AT LEAST ONE HANDRAIL MUST BE CONTINUOUS. - OBC 9.8.7.2
2. HANDRAIL TO BE 34" - 38" (863-965mm) HIGH - OBC 9.8.7.4
3. CLEARANCE TO THE WALL 2" (50mm) MIN - OBC 9.8.7.5

STAIRS

1. HEADROOM CLEARANCE 6'-5" (1.95m) MIN. - OBC 9.8.2.2
2. NOSING TO BE EITHER ROUNDED OR BEVELED - OBC 9.8.4.6
3. REQUIRED DIMENSIONS

INTERIOR OR EXTERIOR STAIRS SERVING ONE DWELLING UNIT ONLY

1. RISER: 4-7/8" (125mm) MIN, 7-7/8" (200mm) MAX
2. RUN: 8-1/4" (210mm) MIN, 13-7/8" (355mm) MAX
3. TREAD: 9-1/4" (235mm) MIN, 13-7/8" (355mm) MAX
4. NOSING: 1" (25mm) MAX

PUBLIC STAIRS

1. RISER: 4-7/8" (125mm) MIN, 7-1/8" (180mm) MAX
2. RUN: 11" (280mm) MIN, NO LIMIT MAX
3. TREAD: 11" (280mm) MIN, NO LIMIT MAX

LANDING

1. A LANDING SHALL BE PROVIDED AT THE TOP OF ALL EXTERIOR STAIRS. - OBC 9.8.6.2

DOORS

1. DOORS, INCLUDING SLIDES, LOCATED MORE THAN 28' 5 3/8" (860mm) ABOVE GROUND OR LANDINGS TO BE EITHER RESTRICTED IN OPENING OR BE PROVIDED WITH GUARDS AS PER OBC 9.8.8.1.
2. PROVISIONS SHOULD BE PROVIDED TO RESIST FORCED ENTRY AS PER OBC 9.2.5.2 & 9.2.5.3
3. EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL, AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST ONE CUTSIDE WINDOW THAT IS OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. PROVIDES AN INDIVIDUAL, UNOBTSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35sqm WITH NO DIMENSION LESS THAN 380mm. AND MAINTAINS THE REQUIRED OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT.
4. DOOR BETWEEN ATTACHED GARAGES AND DWELLING SHALL BE TIGHT FITTING, WEATHER STRIPPED, AND HAVE A SELF CLOSING DEVICE. OBC 9.10.9.1B.
5. MAINTAIN ONE LINE OF PASSAGE FROM THE UTILITY ROOM TO THE EXTERIOR WITH ALL DOORWAYS BEING A MIN. 32" IN WIDTH
6. INSTALL BULLETPROOF PROTECTION AROUND ALL WINDOW & DOOR OPENINGS AS PER MANUFACTURER RECOMMENDATIONS.

GUARDRAILS

1. REQUIRED BETWEEN ADJACENT WALKING SURFACES WITH AN ELEVATIONS DIFFERENCE GREATER THAN 23'-5 3/8" (860mm) - OBC 9.8.8.1
2. GUARD HEIGHT 2'-11 1/2" (600mm) MIN - OBC 9.8.8.1
3. EXTERIOR GUARD HEIGHT 3'-6" (1070mm) MIN FOR ELEVATION DIFFERENCE GREATER THAN 5'-11" (180mm) - OBC 9.8.8.2.1
4. LOADING CRITERIA TO CONFORM TO OBC 4.1.5.14
5. GUARDS TO HAVE ENGINEER STAMPED SHOP DRAWINGS TO CONFORM TO OBC 4.1.5.14, AND TO BE PROVIDED TO BUILDING INSPECTOR AT BLACKTILL INSPECTION STAGE.
6. CLEAR SPACING BETWEEN BALUSTERS 4" (100mm) MAX - OBC 9.8.8.3
7. AND CLIMBER ELEMENTS BETWEEN 4" AND 36" ABOVE FINISHED FLOOR - OBC 9.8.8.5
8. TO COMPLY WITH OBC 9.8.8.1 FOR RESISTANCE TO CLIMBING AND KICKING AND ANCHORAGE
9. ALL LANDING GUARDS TO BE 4'-6" IN HEIGHT WHEN LANDING IS HIGHER THAN 10 METERS.

AND VAPOR MOISTURE BARRIER

1. AIR BARRIERS TO BE CONTINUOUS - OBC 9.25.3.3
2. AIR BARRIERS TO CONFORM TO OBC 9.25.3
3. PROVIDE AIR AND VAPOR TABS FOR AND SEAL TO DOOR & WINDOW OPENINGS
4. PROVIDE AIR BARRIER MEMBRANE AT ATTACHED GARAGES TO PREVENT THE MIGRATION OF FUMES AND CO GASES INTO DWELLING - OBC 9.10.9.16.14
5. VAPOR BARRIERS TO CONFORM TO 9.25.3 & CANCS93 9.14.4L
6. MOSTURE BARRIER SHALL BE PROVIDED IN ALL AREAS WHERE THE WOOD IS IN CONTACT WITH CONCRETE OR UNIT MASONRY LOCATED BELOW GRADE - OBC 9.23.2.3

FINISHES

1. FLOOR FINISHES IN BATHROOMS, KITCHENS, LAUNDRY ROOMS, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT - OBC 9.20.1.2
2. WALL FINISHES IN ALL TUB AND SHOWER AREAS TO BE WATERPROOF - OBC 9.20.2.1

2. CERAMIC TILE REQUIRES MINIMUM 5/8" (16mm) SUB-FLOOR + 1/4" (6mm) UNDERLAY.

APPLIANCES

1. TO BE ULCO LISTED AND INSTALLED AS PER MANUF. ACTUERS SPECIFICATION.
2. FIRE PROTECTION FOR GAS AND ELECTRIC RANGES TO BE PROVIDED AS PER OBC 9.10.22

DRAINAGE

1. WINDOW WELLS SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION (DO NOT DIRECTLY CONNECT TO WEeping TILE SYSTEM) - OBC 9.14.6.3
2. DRAINAGE LAYER SHALL BE INSTALLED ADJACENT TO THE EXTERIOR SURFACE OF A FOUNDATION WALL WHERE THE INSULATION EXTENDS TO MORE THAN 2'-11" (660mm) BELOW THE ADJACENT EXTERIOR GROUND LEVEL - OBC 9.14.2.1.

FLASHING (OBC 9.20.13)

1. INSTALL WHERE SLOPING SURFACES INTERSECT TO FORM A VALLEY, INTERSECTION OF WALLS AND SHINGLED ROOF, AND AT CHIMNEY AND CHIMNEY SADDLE INTERSECTION - OBC 9.20.4
2. FLASHING BENEATH WEEP HOLES IN MASONRY VENEER OVER WOOD-FRAME WALLS SHALL BE INSTALLED SO THAT IT EXTENDS FROM A POINT NOT LESS THAN 5mm BEYOND THE OUTER FACE OF THE BUILDING ELEMENT BELOW THE FLASHING TO A POINT 150mm UP THE WOOD FRAME WALL - OBC 9.20.13.6
3. JOINTS IN FLASHING SHALL BE MADE WATER-TIGHT - OBC 9.20.13.7
4. INSTALL BENEATH JOINED MASONRY WINDOW SILLS, OVER THE BACK AND TOP OF PARAPET WALLS, OVER THE HEADS OF GLASS BLOCK PANELS, BENEATH WEEP HOLES, AND OVER THE HEADS OF WINDOW AND DOOR OPENINGS IN EXTERIOR WALLS WHEN THE VERTICAL DISTANCE BETWEEN THE TOP OF THE WINDOW OR DOOR FRAME AND THE BOTTOM EDGE OF THE EAVE EXCEEDS 1/4 OF THE HORIZONTAL EAVE OVERHANG - OBC 9.20.13.2

SMOKE ALARMS

1. AT LEAST ONE SMOKE ALARM MUST BE INSTALLED ON EACH STOREY, INCLUDING BASEMENTS, AND ON ANY STOREY CONTAINING SLEEPING ROOMS A SMOKE ALARM MUST BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY - OBC 9.10.10.2
2. SMOKE ALARMS SHALL BE INSTALLED WITH PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT AND HAVE NO DISCONNECT SWITCH BETWEEN THE OVER-CURRENT DEVICE AND THE SMOKE ALARM, AND BE PROVIDED WITH A BATTERY AS AN ALTERNATIVE POWER SOURCE THAT CAN CONTINUE TO PROVIDE POWER TO THE SMOKE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN THE NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM - OBC 9.10.19.4. SMOKE ALARMS CAN BE ON BATTERY IN EXISTING HOUSES AS PER PART 11.
3. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED IN A DWELLING UNIT, THE SMOKE ALARMS SHALL BE WIRED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND - OBC 9.10.19.5
4. A SMOKE ALARM SHALL HAVE A VISUAL SIGNALING COMPONENT CONFORMING TO THE REQUIREMENTS IN 18.5.3 (LIGHT, COLOR AND PULSE CHARACTERISTICS) OF NFPA 72, NATIONAL FIRE ALARM AND SIGNALING CODE - OBC 9.10.19.2.4.1
5. THE VISUAL SIGNALING NEED NOT BE INTEGRATED WITH THE SMOKE ALARM PROVIDED IT IS INTERCONNECTED TO IT, BE ON BATTERY BACKUP, OR HAVE SYNCHRONIZED FLASH RATES - OBC 9.10.19.3.15
6. THE LUMINOUS INTENSITY FOR VISUAL SIGNALING COMPONENTS THAT ARE INSTALLED IN SLEEPING ROOMS SHALL BE A MINIMUM OF 175 CD - OBC 9.10.19.3.16
7. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED NEXT TO EACH SLEEPING AREA - OBC 9.20.4.2
8. SMOKE ALARMS ARE TO BE INTERCONNECTED BETWEEN UNITS. SMOKE ALARMS DON'T HAVE TO BE INTERCONNECTED IF EACH UNIT HAS A DEDICATED EXT.
9. AN IN-DUCT SMOKE DETECTOR IS REQUIRED IN THE SUPPLY OR RETURN DUCTS WHERE THERE IS A SHARED FURNACE SUPPLYING AIR TO BOTH UNITS.

INTERIOR NOTES

1. REPLACE 1/2" GB WITH CEMENTITIOUS TYPE PRODUCT AT ALL SHOWER, SHOWER-TUB WALLS & SHOWER WINDOW SILLS AND JABS.
2. REPLACE 1/2" GYPSUM BOARD WITH WATER RESISTANT GB AT BATHTUB & SUBROCKS
2. INSTALL GALVANIZED METAL PAN & DRAIN AT ALL WASHING MACHINE LOCATIONS
3. REINFORCEMENT SHOULD BE PROVIDED FOR FUTURE GRAB BARS AS PER 9.5.2.3 OBC

FIRE SEPARATION

1. CONTINUOUS FIRE SEPARATION REQUIRED BETWEEN TWO SUITES. FIRE SEPARATION IS REQUIRED TO BE CONTINUOUS AT THE INTERSECTION OF PARTITION WALLS.
2. ALL PENETRATIONS THROUGH FIRE SEPARATIONS ARE REQUIRED TO BE SEALED BY AN APPROVED FIRE STOP SYSTEM HAVING AN F RATING NOT LESS THAN THE FIRE-RESISTANCE RATING OF THE FIRE-SEPARATION.



TEL: 613.413.6292  
EMAIL: victoria@vdeignz.ca

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5. DIMENSIONS ARE TO - OLD STUD FOR INTERIOR WOOD FRAMING - TO EXT FACE OF FRAMING FOR NEW WOOD FRAMING, TO FACE OF INT FINISH FOR EXISTING CONSTR - OLD OF CONCRETE AND MASONRY - OLD OF WINDOWS - OLD DOORS

#	DATE	REVISION
0	28 APR 22	ISSUED FOR BUILDING PERMIT

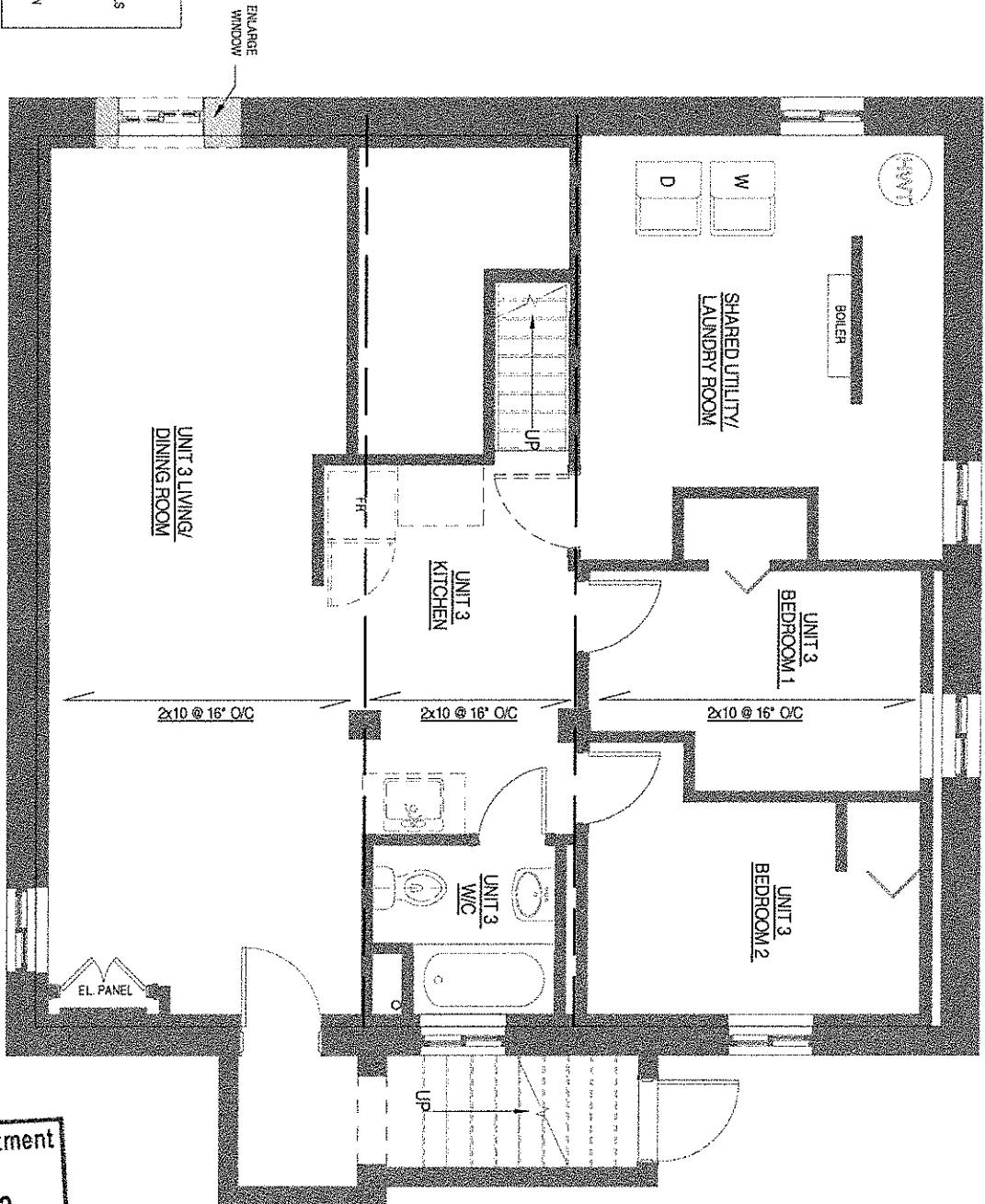
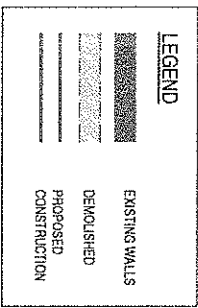
TRIPLEX

113 LOWER  
CHARLOTTE ST.,  
OTTAWA, K1N 8K4



SPECIFICATIONS

A1



① BASEMENT PLAN - DEMO

1/4" = 1'-0"

Committee of Adjustment

AUG 11 2022

City of Ottawa



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  - F.O. CONCRETE AND MASONRY
  - B.O. OF WINDOWS
  - O.C. DOORS

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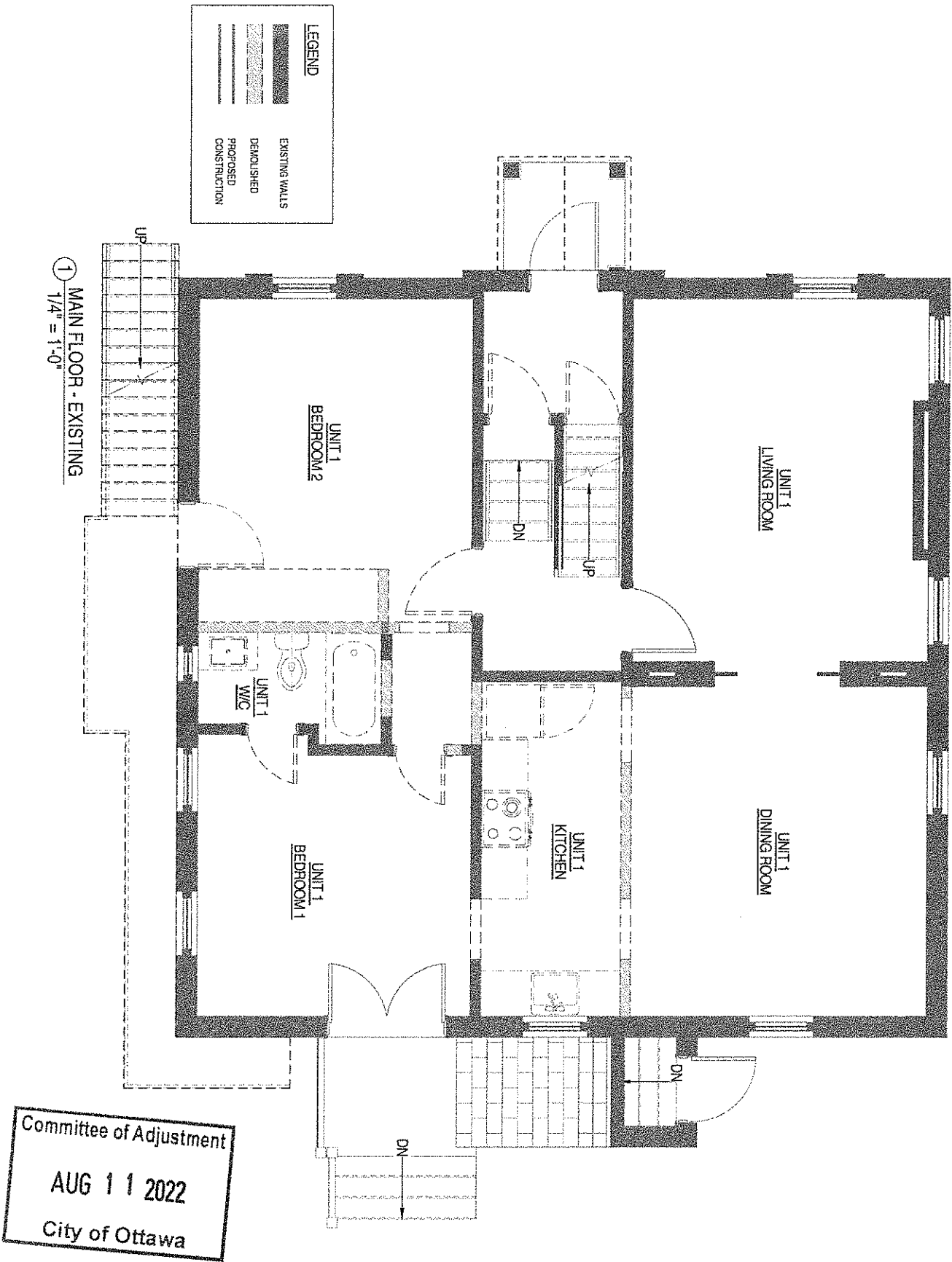
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OTTAWA, K1N 8K4



BASEMENT PLAN -  
EXST & DEMO

A2.1



**MAIN FLOOR PLAN - EXST & DEMO**

**A2.2**

**113 LOWER**

**CHARLOTTE ST.**

**OTTAWA, K1N 8K4**

**TRIPLEX**

**0** **28 APR 22** **ISSUED FOR BUILDING PERMIT**

**#** **DATE** **REVISION**

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- F.O. CONCRETE AND MASONRY
- R.O. OF WINDOWS
- O.L. DOORS

**EMAIL: victor@victor.ca**

**TEL: 613.413.0282**

**VICTORIA ZAMCHENSKA**

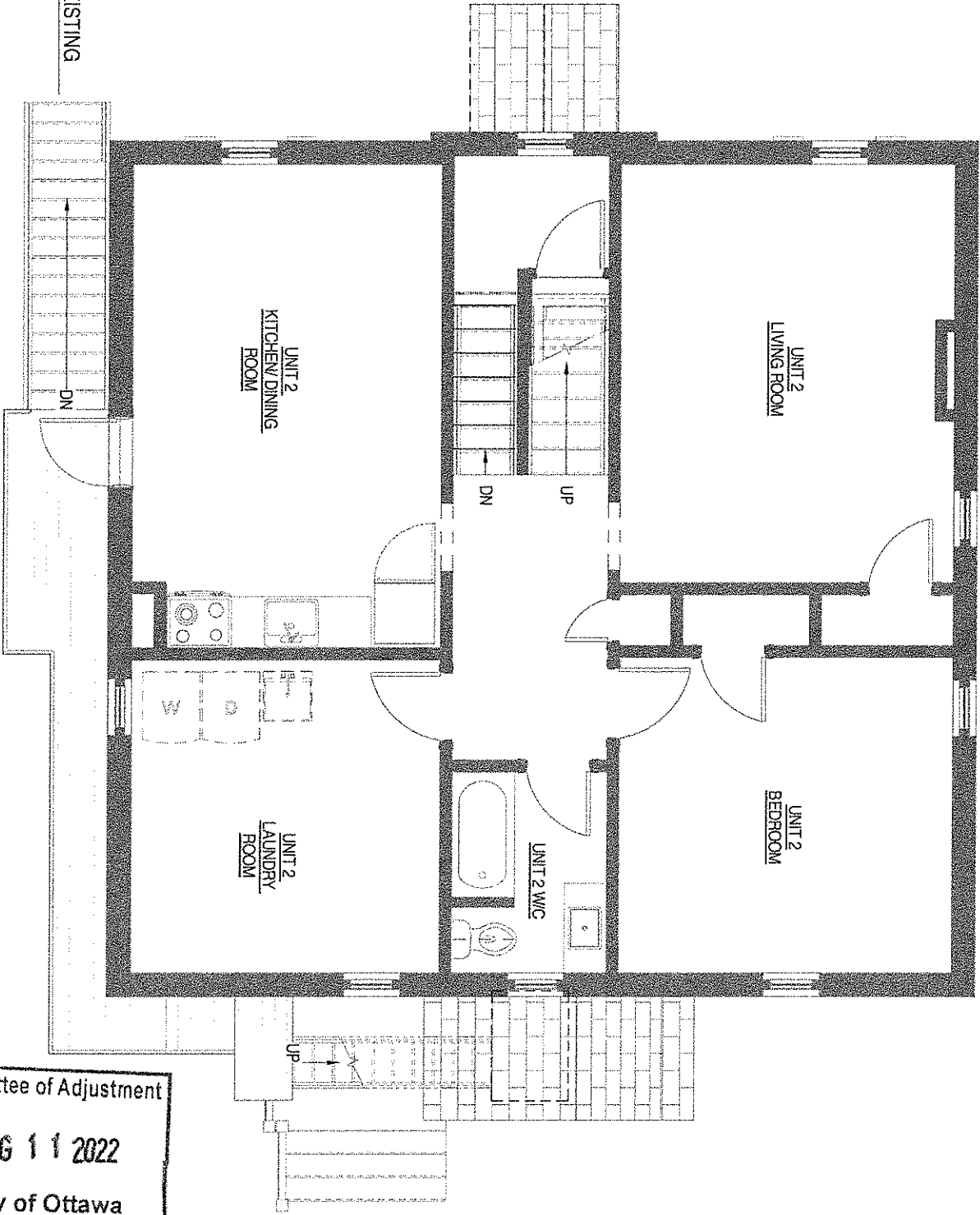
**BCIN # 47342**

**WDesign/line # 121 147**

**QUALIFICATION: P.E.C.**

**LARGE BUILDINGS**

① 2ND FLOOR- EXISTING  
1/4" = 1'-0"



Committee of Adjustment  
AUG 11 2022  
City of Ottawa



VIKTORIA ZAMCHEVSKA  
BCIN 47 242  
VDesignz Inc # 121 147  
QUALIFICATION INFO:  
LARGE BUILDINGS

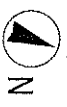
TEL: 613.413.6892  
EMAIL: vdesignz@videx.ca

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  - F/O OF WINDOWS
  - CL DOORS

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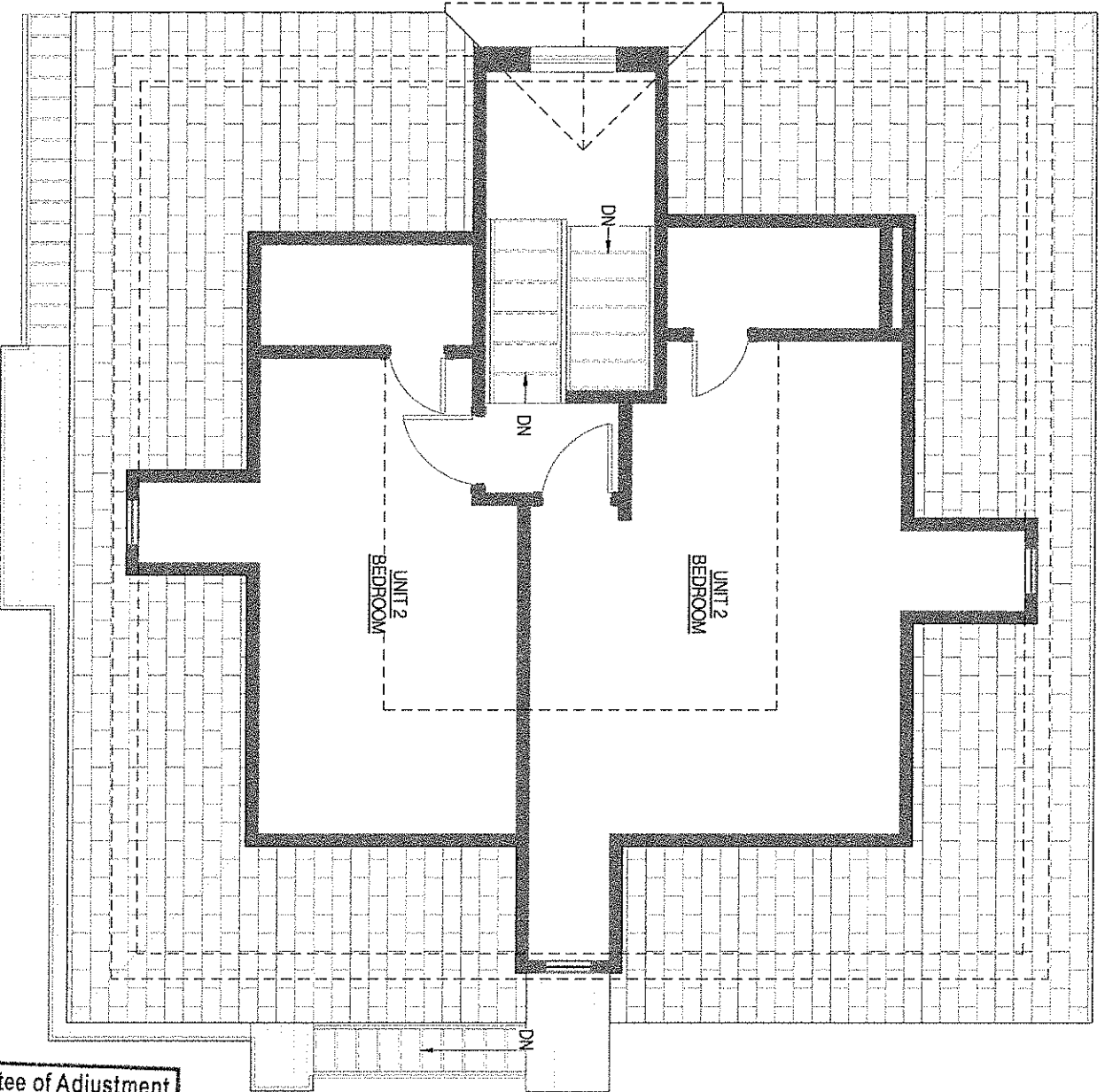
113 LOWER  
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OTTAWA, K1N 8K4



2ND FLOOR PLAN -  
DEMO

A2.3

① 3RD FLOOR  
1/4" = 1'-0"



Committee of Adjustment  
AUG 11 2022  
City of Ottawa



BCIN# 47342  
VDesignz Inc # 121147  
QUALIFICATION INFO:  
LARGE BUILDINGS

TEL: 613.413.6262  
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  - R/O OF WINDOWS
  - CL DOORS

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OTTAWA, K1N 8K4



3RD FLOOR PLAN -  
DEMO

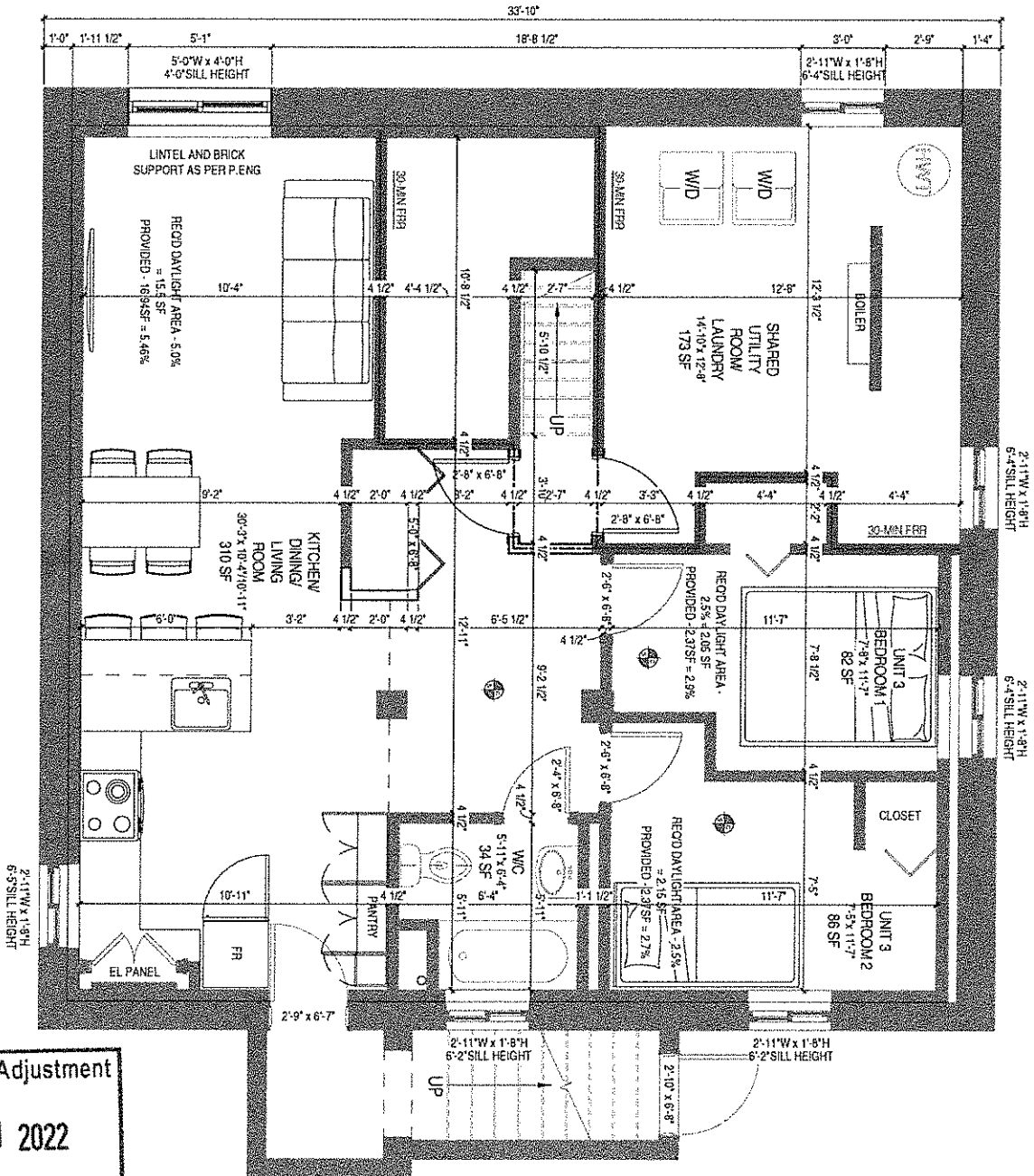
A2.4

**LEGEND**

- EXISTING WALLS
- DEMOLISHED
- PROPOSED CONSTRUCTION
- SMOKE & CO. ALARM
- EXHAUST FAN

**NOTES:**

1. CEILING HEIGHT IN THE BASEMENT SUITE IS 8'-0"
2. EXHAUST FANS IN KITCHEN, BATHROOMS AND FOR DRIVER TO BE VENTED DIRECTLY TO THE OUTSIDE.
3. BOILER IN THE BASEMENT IS HEATING ALL UNITS.
4. ALL WINDOWS ARE EXISTING UNLESS NOTED.
5. ENSURE THAT 6"-F" HEADROOM IS PROVIDED UNDER ALL BULKHEADS ON THE WAY TO EGRESS.
7. DOORS IN 90-MIN FRR ASSEMBLIES SHOULD 20-MIN FRR DOOR (SOLID CORE WOOD DOOR IS SUFFICIENT) WITH SELF-CLOSING DEVICE



1 BASEMENT PLAN - PROPOSED  
1/4" = 1'-0"

Committee of Adjustment  
AUG 11 2022  
City of Ottawa



VICTORIA ZAMCHENSKA  
BORN 47 342  
VPO#02 INC # 121 147  
OUBIGATION INC#2  
LARGE BUILDINGS

TEL: 613 413 6292  
EMAIL: victoria@vzinc.ca

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  - OUT DOORS

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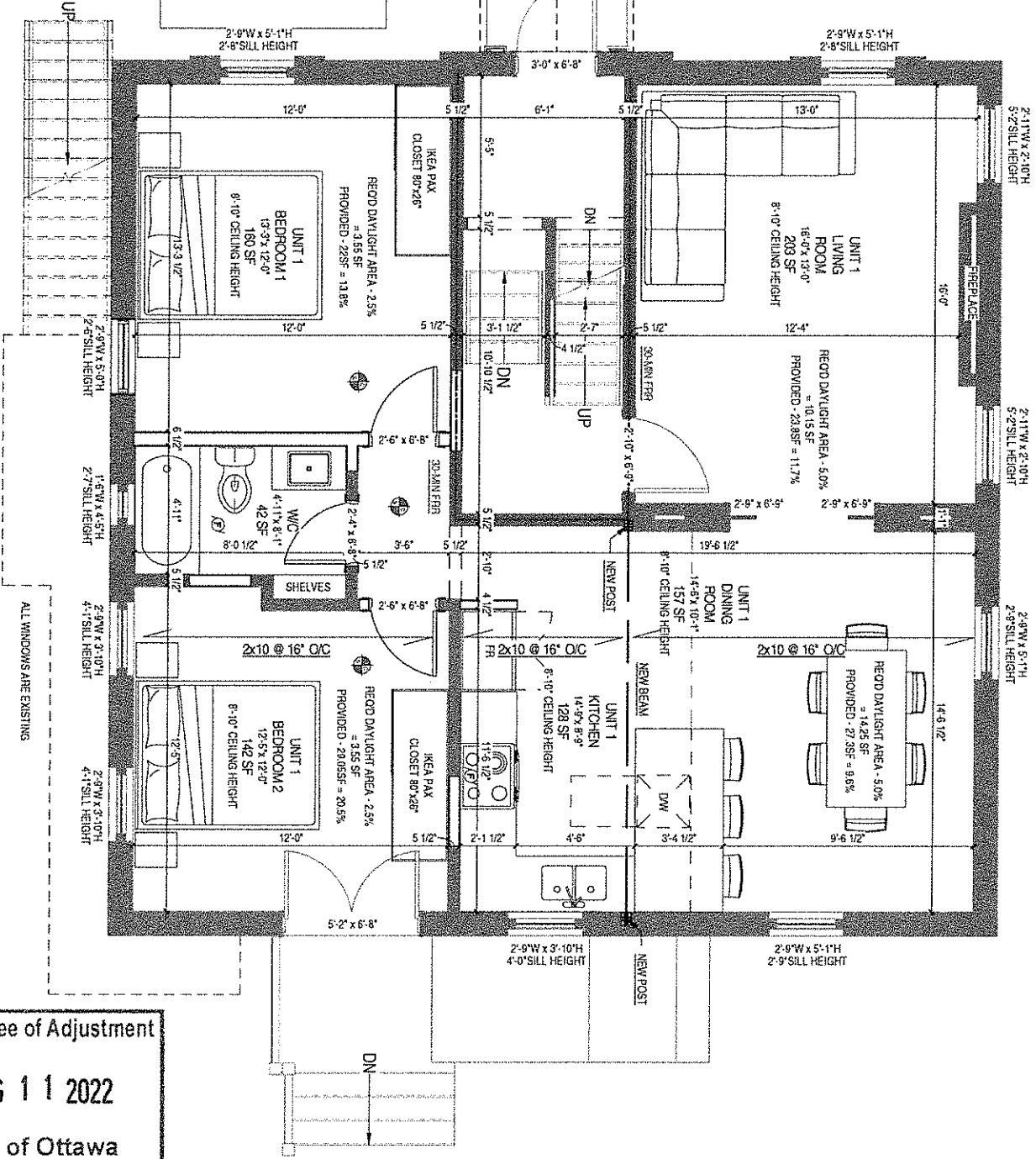
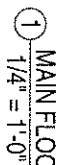
TRIPLEX

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CHARLOTTE ST,  
OTTAWA, K1N 8K4



BASEMENT PLAN -  
PROPOSED

A3.1



Committee of Adjustment  
AUG 11 2022  
City of Ottawa

MAIN FLOOR PLAN -  
PROPOSED

### A3.2

113 LOWER  
CHARLOTTEST,  
OTTAWA, K1N 8K4

TRIPLEX

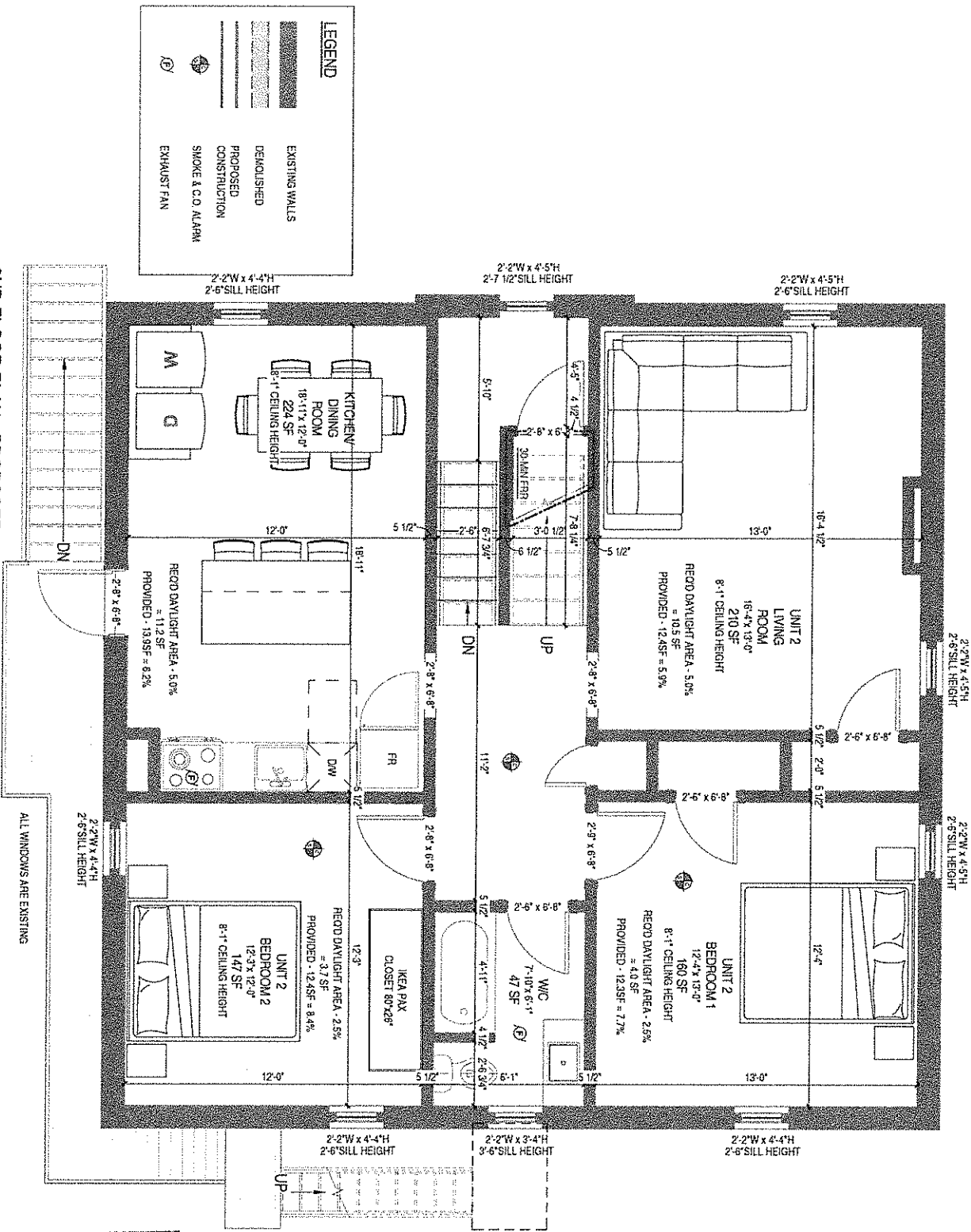
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  - F.O. CONCRETE AND MASONRY
  - I.D. OF WINDOWS
  - I.D. DOORS

**VIKTORIYA ZAMCHEVSKA**  
BCIN# 47 342  
VDesignz Inc # 121 147  
QUALIFICATION INFO:  
LARGE BUILDINGS  
TEL: 613 413 6262  
EMAIL: [viktorinz@vdesignz.ca](mailto:viktorinz@vdesignz.ca)

Wages  
Minimum Wage (Local Law)

1 2ND FLOOR PLAN - PROPOSED  
1/4" = 1'-0"



Committee of Adjustment  
AUG 11 2022  
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A3.3

2ND FLOOR PLAN - PROPOSED



113 LOWER  
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  - R/O OF CONCRETE AND MASONRY
  - R/O OF WINDOWS
  - OLD DOORS

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TEL: 613.413.6292  
VICTORIA ZACHARYSKA  
BORN 4/23/42  
VDesignz Inc # 121.147  
QUALIFICATION INFO:  
LARGE BUILDINGS







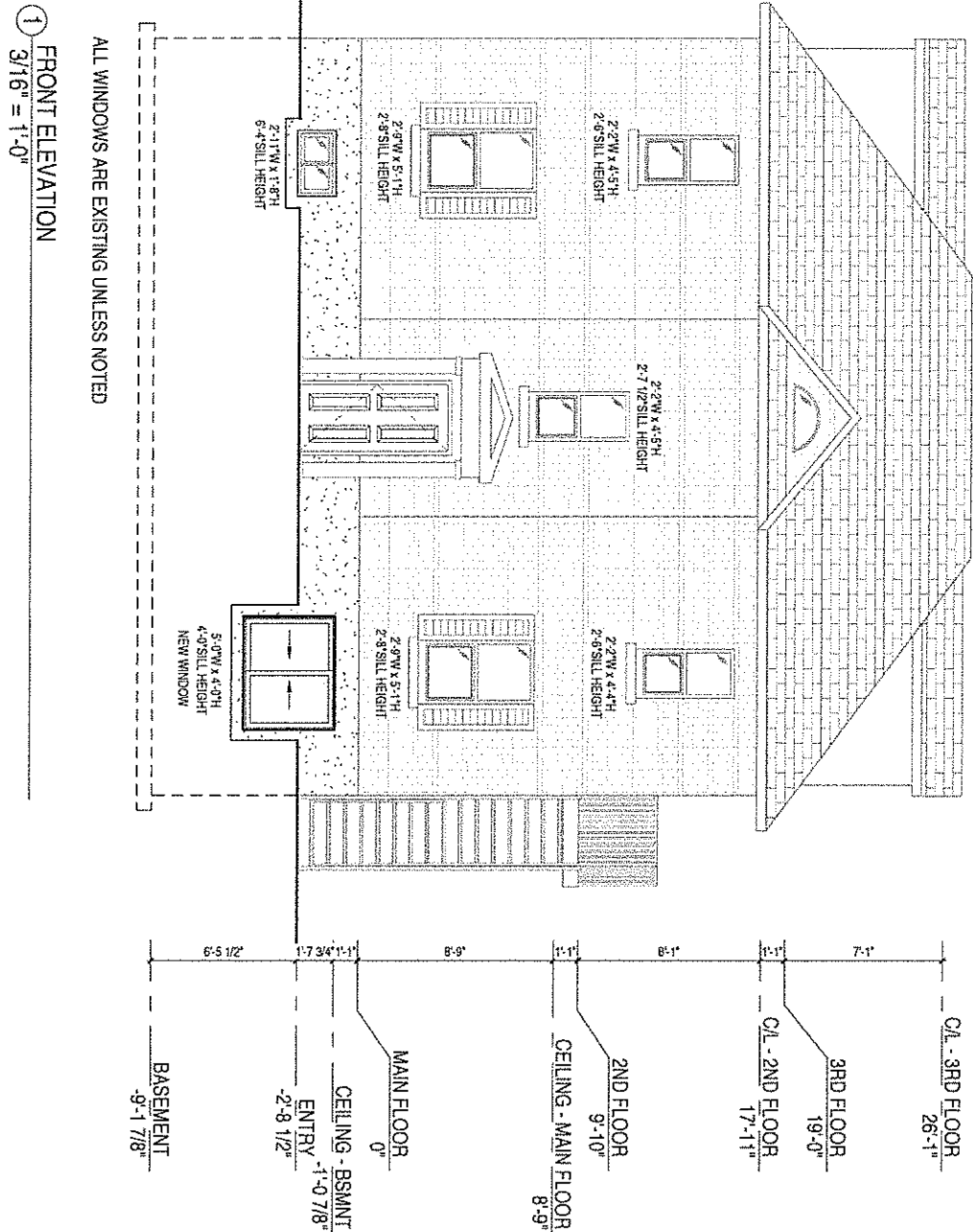
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### A3.4

BCIN# 47342  
VDesignZ Inc # 12: 147  
QUALIFICATION INFO:  
LARGE BUILDINGS

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City of Ottawa



SPRUE SEPARATION				
	EXPOSED BUILDING FACE AREA (sq ft)	LOTTING DISTANCE (ft)	ALLOWED UNPROTECTED OPENINGS (%)	PROPOSED UNPROTECTED OPENINGS (%)
FRONT	43	10 (parallel to)	8.5%	9.9
REAR				
ROOF	69	2.7	11%	7
LEFT			NONHORIZONTAL	

VDesignZ Inc # 121-47  
QUALIFICATION INFO:  
LARGE BUILDINGS

TEL: 613.413.6262  
EMAIL: victoria@vdesignz.ca

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- R/O OF WINDOWS
- CL DOORS

0	28 APR 22	ISSUED FOR BUILDING PERMIT
#	DATE	REVISION

TRIPLEX

113 LOWER  
CHARLOTTE ST,  
OTTAWA, K1N 8K4



ELEVATIONS

## A4.1



VICTORIA ZAMOJSKI  
BORN 4/2/42  
VDS# 121.147  
QUALIFICATION INFO:  
LARGE BUILDINGS

TEL: 613.410.6692  
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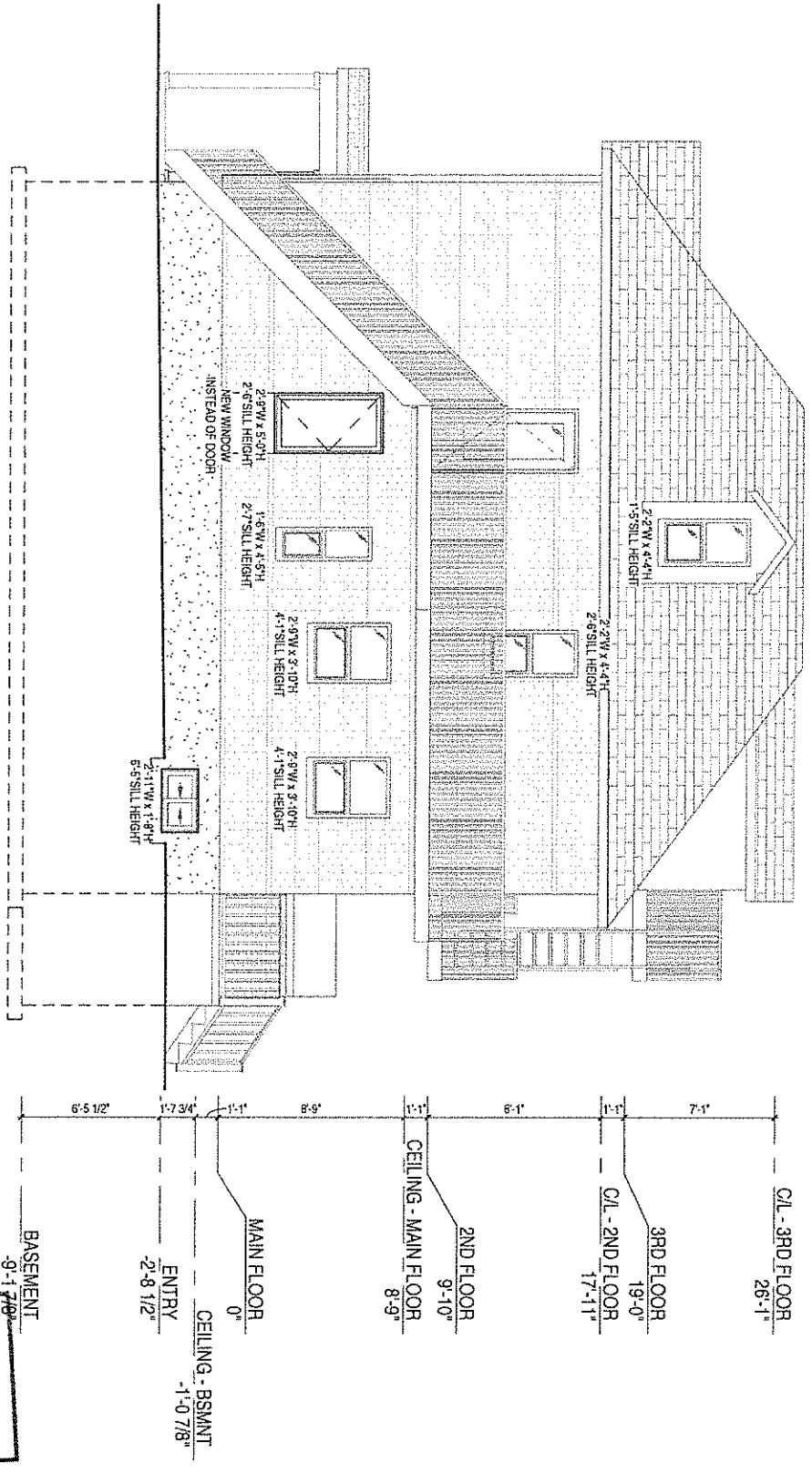
TRIPLEX

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ELEVATIONS

A4.2



ALL WINDOWS ARE EXISTING UNLESS NOTED

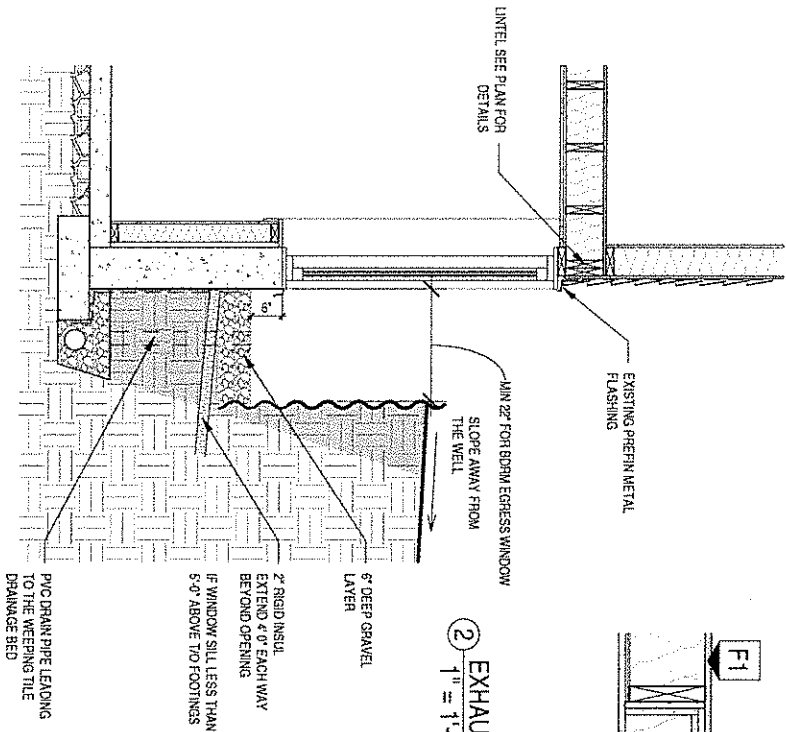
① RIGHT ELEVATION

$\frac{3}{16}'' = 1'-0''$

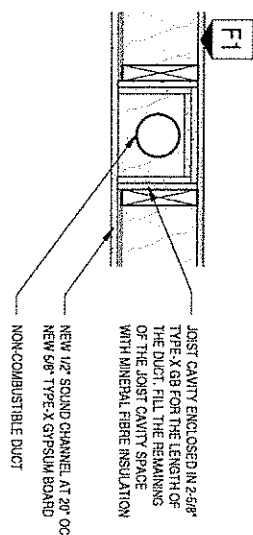
Committee of Adjustment

AUG 11 2022

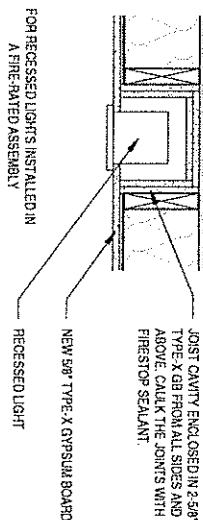
City of Ottawa



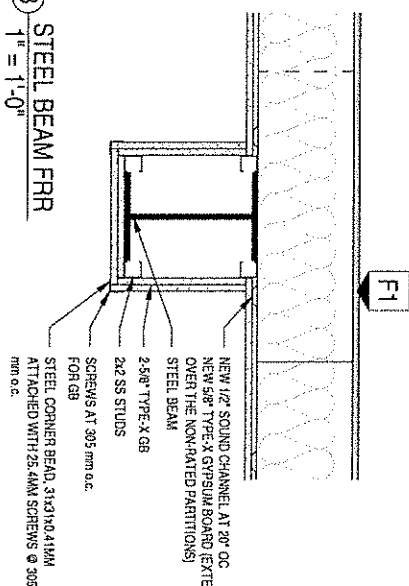
② EXHAUST DUCT FRR  
1" = 1'-0"



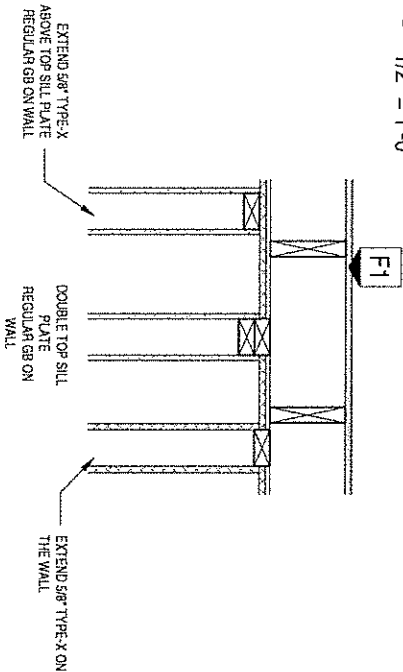
⑤ RECESSED LIGHT FRR  
1" = 1'-0"



③ STEEL BEAM FRR  
1" = 1'-0"

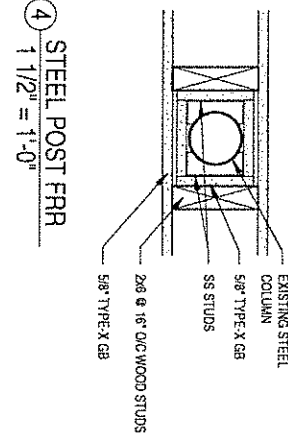


① WINDOW SECTION  
1 1/2\"/>

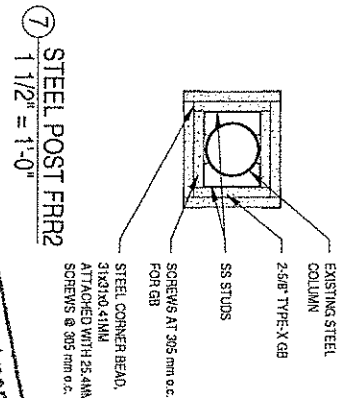


⑥ PARTITION WALLS @ FIRE-RATED MEMBRANE  
1\"/>

④ STEEL POST FRR  
1 1/2\"/>



⑦ STEEL POST FRR2  
1 1/2\"/>



Committee of Adjustment  
AUG 11 2022  
City of Ottawa

A5.1

DETAILS



113 LOWER  
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  - RIO OF WINDOWS
  - CL DOORS

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EMAIL: victor@vdsignz.ca

VICTORIA ZAMCHENSKAYA  
BCMA # 242  
VDS-002 Inc # 121,147  
QUALIFICATION: RFO  
LARGE BUILDINGS

