

11. **Application for demolition and new construction at 58 Florence Street, a property located in the Centretown Heritage Conservation District, designated under Part V of the *Ontario Heritage Act***

Demande de démolition et de nouvelle construction au 58, rue Florence, une propriété située dans le district de conservation du patrimoine du centre-ville et désignée aux termes de la partie V de la *Loi sur le patrimoine de l'Ontario*

Committee recommendations

That Council:

- 1. approve the demolition of 58 Florence Street in accordance with the findings of the Structural Condition Letter, prepared by Kollaard Associates, dated June 26, 2019;**
- 2. approve the application to construct a new building at 58 Florence Street according to plans submitted by Evolution Design and Drafting & Tanner Vine Interiors, received on October 21, 2019;**
- 3. delegate authority for minor design changes to the General Manager, Planning, Infrastructure and Economic Development;**
- 4. approve the issuance of the heritage permit with a two-year expiry date from the date of issuance unless otherwise extended by Council.**

(Note: The statutory 90-day timeline for consideration of this application under the *Ontario Heritage Act* will expire on December 24, 2019.)

(Note: Approval to alter this property under the *Ontario Heritage Act* must not be construed to meet the requirements for the issuance of a building permit.)

Recommandations du Comité

Que le Conseil :

- 1. approuve la démolition du 58, rue Florence, conformément aux conclusions de la lettre sur l'état structurel préparée par Kollaard**

Associates, et datée du 26 juin 2019;

2. approuve la demande de construction d'un nouveau bâtiment au 58, rue Florence, conformément aux *plans* soumis par Evolution Design and Drafting & Tanner Vine Interiors et reçus le 21 octobre 2019;
3. délègue au directeur général de Planification, Infrastructure et Développement économique le pouvoir d'effectuer des changements mineurs de conception;
4. approuve la délivrance du permis en matière de patrimoine, d'une validité de deux ans à partir de la date de délivrance, sauf si le permis est prolongé par le Conseil municipal.

(Nota : Le délai réglementaire de 90 jours d'examen de cette demande, exigé en vertu de *la Loi sur le patrimoine de l'Ontario*, prendra fin le 24 décembre 2019.)

(Nota : L'approbation de la demande de modification aux termes de la *Loi sur le patrimoine de l'Ontario* ne signifie pas pour autant qu'elle satisfait aux conditions de délivrance d'un permis de construire.)

Documentation/Documentation

1. Director's report, Planning Services, Planning, Infrastructure and Economic Development Department, dated October 31, 2019 (ACS2019-PIE-RHU-0023)

Rapport de la Directrice, Services de la planification, Direction générale de la planification, de l'infrastructure et du développement économique, daté le 31 octobre 2019 (ACS2019-PIE-RHU-0023)

2. Extract of draft Minutes, Built Heritage Sub-committee, November 12, 2019

Extrait de l'ébauche du procès-verbal du Sous-comité du patrimoine bâti, le 12 novembre 2019

3. Extract of draft Minutes, Planning Committee, November 28, 2019

Extrait de l'ébauche du procès-verbal du Comité de l'urbanisme, le 28 novembre 2019

**Report to
Rapport au:**

**Built Heritage Sub-Committee / Sous-comité du patrimoine bâti
November 12, 2019 / 12 novembre 2019**

and / et

**Planning Committee / Comité de l'urbanisme
November 28, 2019 / 28 novembre 2019**

**and Council / et au Conseil
December 11, 2019 / 11 décembre 2019**

**Submitted on October 31, 2019
Soumis le 31 octobre 2019**

Submitted by

Soumis par:

Court Curry,

Manager / Gestionnaire,

**Right of Way, Heritage and Urban Design Services / Services des emprises, du
patrimoine et du design urbain**

**Planning, Infrastructure and Economic Development Department / Direction
générale de la planification, de l'Infrastructure et du développement économique**

Contact Person

Personne ressource:

**David Maloney, Planner / Urbaniste, Development Review Services / Services
d'Examen des projets d'aménagement, Heritage Services Section / Section des
Services du Patrimoine**

(613) 580-2424, 14057, David.Maloney@ottawa.ca

SUBJECT: Application for demolition and new construction at 58 Florence Street, a property located in the Centretown Heritage Conservation District, designated under Part V of the *Ontario Heritage Act*

OBJET: Demande de démolition et de nouvelle construction au 58, rue Florence, une propriété située dans le district de conservation du patrimoine du centre-ville et désignée aux termes de la partie V de la *Loi sur le patrimoine de l'Ontario*

REPORT RECOMMENDATIONS

That the Built Heritage Sub-Committee recommend that Planning Committee recommend that Council:

1. Approve the demolition of 58 Florence Street in accordance with the findings of the Structural Condition Letter, prepared by Kollaard Associates, dated June 26, 2019;
2. Approve the application to construct a new building at 58 Florence Street according to plans submitted by Evolution Design and Drafting & Tanner Vine Interiors, received on October 21, 2019;
3. Delegate authority for minor design changes to the General Manager, Planning, Infrastructure and Economic Development;
4. Approve the issuance of the heritage permit with a two-year expiry date from the date of issuance unless otherwise extended by Council.

(Note: The statutory 90-day timeline for consideration of this application under the *Ontario Heritage Act* will expire on December 24, 2019.)

(Note: Approval to alter this property under the *Ontario Heritage Act* must not be construed to meet the requirements for the issuance of a building permit.)

RECOMMANDATIONS DU RAPPORT

Que le Sous-comité du patrimoine bâti recommande au Comité de l'urbanisme de recommander à son tour au Conseil :

5. D'approuver la démolition du 58, rue Florence, conformément aux conclusions de la lettre sur l'état structurel préparée par Kollaard Associates, et datée du 26 juin 2019;

6. **D'approuver la demande de construction d'un nouveau bâtiment au 58, rue Florence, conformément aux plans soumis par Evolution Design and Drafting & Tanner Vine Interiors et reçus le 21 octobre 2019;**
7. **De déléguer au directeur général de Planification, Infrastructure et Développement économique le pouvoir d'effectuer des changements mineurs de conception;**
8. **D'approuver la délivrance du permis en matière de patrimoine, d'une validité de deux ans à partir de la date de délivrance, sauf si le permis est prolongé par le Conseil municipal.**

(Nota : Le délai réglementaire de 90 jours d'examen de cette demande, exigé en vertu de *la Loi sur le patrimoine de l'Ontario*, prendra fin le 24 décembre 2019.)

(Nota : L'approbation de la demande de modification aux termes de la *Loi sur le patrimoine de l'Ontario* ne signifie pas pour autant qu'elle satisfait aux conditions de délivrance d'un permis de construire.)

BACKGROUND

The existing building at 58 Florence Street is a vacant two and one-half storey brick clad detached house with a gabled hip roof, built between 1901-1912, located in the Centretown Heritage Conservation District (HCD) and designated under Part V of the *Ontario Heritage Act*. The structure is located on the south side of the street, directly east of a contemporary four-storey residential building constructed in 2011. To the east of the subject property, along both sides of Florence Street are detached two, two and one-half and three-storey brick-clad residences constructed between 1888 and 1930. The property at 58 Florence Street was evaluated as Category 2 as part of the Centretown HCD but sustained serious damage during the construction of the adjacent apartment building at 429 Kent Street.

This application is for the demolition of the existing building and the construction of a new three-storey building in its place. This report has been prepared because City Council approval is required for all applications for demolition and new construction in Heritage Conservation Districts.

Centretown HCD

The Centretown HCD was designated in 1997 for its cultural heritage value as a late 19th and early 20th century residential community within walking distance of Parliament

Hill. It features a variety of building types including single-detached, semi-detached, row houses and small apartment buildings constructed in the late 19th and early 20th centuries and is unified by the dominance of red brick and wood (see Document 4).

DISCUSSION

Project Description

The proposal is to demolish the existing building and construct a three-storey flat roofed apartment building containing nine units, with a principal entrance at grade on Florence Street and no on-site parking.

The new building is to be clad primarily in red brick, with patterned metal panels accenting both the front and rear façades. Side elevations, where not visible from the street are proposed to be clad in metal panels. The front façade consists of paired stacked multi-paned windows extending to all three floors with black metal spandrel panels and window frames in the projecting bay. A detailed metal cornice defines the top of this projecting bay.

The main entrance door to the building contains a sidelight and transom. Above the recessed brick clad entrance alcove are black metal-clad walls on the second and third floor.

The access to a recessed 76-square metre roof-top terrace is clad in metal panels and enclosed by glass railings.

This application also requires Site Plan Control and Zoning By-law amendment applications to amend the zoning on the property. The revised zoning provisions are required to address lot area, lot width, side yard setbacks, the width of the walkway, and the size of the roof-top access. The current zoning on the property is Residential, Fourth Density (S), Urban Exception 479. Section of 60 (Heritage Overlay) provisions also apply.

Recommendation 1

The building at 58 Florence Street was constructed c.1901-1912. It is a 2 1/2-storey structure that is currently vacant. Significant damage occurred to this property in 2011 during the construction of the adjacent four-storey apartment building which wraps the property to the west and south. At that time, a shoring failure along the shared property line resulted in the collapse of a construction retaining wall, causing the settling and shifting of the foundation of 58 Florence Street by several centimetres which lead to

large vertical and horizontal cracks on all faces of the foundation. These cracks indicate both an unevenness of the soil below the structure and a lateral shift of portions of the foundation toward the west property line. According to a structural condition letter submitted by Kollard Associates, the damage to the foundation of this building is irreparable, and restoration or reconstruction of the house would involve replacing virtually every component of the building, with very little of the original building retained. A visual assessment of the building provided to staff by John Cooke & Associates supports the conclusion provided by Kollard Associates.

The 1997 Centretown HCD study does not have specific policies on demolition but notes that demolition requires Council approval. The existing building at 58 Florence Street was evaluated as a Category 2 building, which does indicate cultural heritage value, but given the poor condition of the building as a result of the construction-related damage and with the unfeasibility of restoration, staff have no concerns with its demolition.

Recommendation 2

Centretown Heritage Conservation District Guidelines

The Centretown HCD Study has the following guidelines related to residential infill:

Residential Infill (Section VII.5.6)

Recommendations

1. All infill should be of contemporary design, distinguishable as being of its own time. However, it must be sympathetic to the heritage character of the area and designed to enhance these existing properties rather than calling attention to itself.
2. The form of new infill should reflect the character of existing buildings on adjoining and facing properties. The buildings should normally be three or four storeys in height, with massing and setbacks matching earlier rather than later patterns still evident in the immediate area.
3. Single family homes, rowhouses, and townhouse developments should reflect the rhythm of early lot development, with gables, balconies, or other features providing an appropriate scale. Small multiple-unit residential developments should reflect the U-shaped and H-shaped patterns of earlier examples, with emphasis on the entrances.

4. Brick veneer should be the primary finish material in most areas, to maintain continuity with existing buildings. Trim materials would commonly be wood or metal; the details at cornices, eaves and entrances should be substantial and well detailed. Colours should be rich and sympathetic to existing patterns. Lighting should be discreet and can be used to highlight architectural features.

The new development meets the Centretown HCD guidelines as the design is contemporary, of its own time and sympathetic to the heritage character of the area. The building is three storeys in height and the massing and setbacks are compatible with the neighbouring heritage buildings on this block, as well as the contemporary apartment building to the west. The proposed red brick cladding accented by patterned metal spandrel is compatible with the character of the Centretown HCD, as red brick finishes typify traditional residential buildings throughout the HCD, and the black metal spandrel offers a contemporary contrast that complements the red brick.

The recessed front entrance is characteristic of neighbouring heritage buildings. The use of a secondary metal cladding accentuates the verticality of the design and allows the protruding brick bay with a detailed metal cornice to visually dominate the façade.

The building is a modern interpretation of a typical Centretown three-storey, red-brick apartment building. It features a flat roof with a cornice, and particularly complements in form, materials and window openings opening dimensions, the Category 2 heritage building across the street at 43 Florence Street. Given that the lot is consistent in width and depth of lots on this block containing detached houses, a U-shaped or H-shaped apartment building form is not appropriate for this site.

Red brick is the primary cladding proposed on both the front and rear façades of the building. The red brick extends to the sides of the building where visible from the street, before the material changes to metal panels.

The front façade of the building features paired multi-pane windows, which are stacked on all three floors, with patterned black metal spandrel panels and window frames in the projecting bay. Overall the design approach accentuates the verticality of the façade.

The building is in line with the north wall of the building next door at 54 Florence Street. The proposed new building will continue the streetscape continuity of Florence Street and remove a dilapidated vacant structure and appropriately contributes to the heritage streetscape.

Centretown Secondary Plan and Centretown Community Design Plan

Both the Centretown Secondary Plan and Centretown Community Design Plan (CDP) speak to protecting heritage buildings. The Centretown Community Design Plan has guidelines for new buildings in the HCD, including: using compatible materials, minimizing the use and height of blank walls and introducing new development with ground floor heights that are like those of adjacent buildings. The intent is to ensure new development embodies a heritage character that enhances the public realm.

This proposal meets these CDP guidelines. The red brick cladding is a compatible material that respects the established character of the streetscape and the buildings within the immediate vicinity. The massing is compatible with adjacent building heights, offering an appropriate transition between the neighbouring contemporary residential structure and the existing heritage buildings to the east. The visibility and height of blank walls is minimized with the proposed design.

Standards and Guidelines

City Council adopted the Parks Canada “Standards and Guidelines for the Conservation of Historic Places in Canada” in 2008. This document establishes a consistent set of conservation principles and guidelines for projects involving heritage resources. Heritage staff consider this document when evaluating applications under the *Ontario Heritage Act*. The following Standards are applicable to this proposal:

Standard 1: Conserve the heritage value of an historic place.

Standard 11: Conserve the heritage value and character-defining-elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

As analysis has determined that 58 Florence Street is in bad condition and would be very difficult to restore, the removal of this Category 2 building will not negatively affect the overall cultural heritage value of the Centretown HCD, as defined in the Statement of Heritage Character. The new building is visually and physically compatible with the character of the Centretown HCD but distinguishable as a contemporary structure.

Cultural Heritage Impact Statement

Section 4.6.1 of the City of Ottawa Official Plan requires that a Cultural Heritage Impact Statement (CHIS) be submitted where a proposed demolition or new construction, “has the potential to adversely affect the heritage conservation district.”

A CHIS was prepared for this proposal by Commonwealth Historic Resource Management. The complete CHIS is attached as Document 8. The conclusion of the CHIS states:

The proposed three-storey brick clad apartment building is sympathetic and respectful of the character of the heritage conservation district. The built form – three storeys with a flat roof – scale and materiality complement the adjacent heritage buildings in the HCD.

Heritage staff concur with the findings in the Cultural Heritage Impact Statement.

Conclusion

Staff recommend approval of the new building at 58 Florence Street as it meets the applicable heritage guidelines and policies including the Centretown HCD Study and the Parks Canada Standards and Guidelines.

Recommendation 3

Minor design changes to a building may emerge during the working drawing phase of the project and through the Site Plan Process. As is common practice for heritage applications, this recommendation is included to delegate the authority to the General Manager, Planning, Infrastructure and Economic Development to undertake these changes.

Recommendation 4

The *Ontario Heritage Act* does not provide any timelines for the expiry of heritage permits. A two-year expiry date is recommended to ensure that this project is completed in a timely fashion.

Provincial Policy Statement

Staff have reviewed this proposal and have determined that it is consistent with the Provincial Policy Statement, 2014.

RURAL IMPLICATIONS

There are no rural implications associated with this report.

CONSULTATION

Heritage Ottawa was notified of the heritage permit application on October 24, 2019 and provided comments based on their review of the Site Plan application, summarized as follows by the City file lead on September 27, 2019:

- While we regret the loss of a Category 2 building, Heritage Ottawa appreciates the technical challenges and impracticality of rehabilitating the existing building, which was severely damaged and has been vacant for several years. At the same time, we support small-scale intensification and efforts to add new rental housing stock in the city centre.
- The proposal is seeking relief from various Zoning bylaw provisions, including the Heritage Overlay provisions, which require the replacement building be built to “the same character and at the same scale, massing, volume, floor area and in the same location” as the building it replaces. While we appreciate the proponent’s ambition to maximize the development potential of the site, further refinements are recommended to ensure that the form, scale and amenities included as part of this proposal remain sympathetic to the heritage character of its immediate surroundings.
- Namely, the scale of the proposed replacement building sits at the intersection between single family dwelling (which would typically have a single porch and balcony) and ‘walk-up’ apartment building, many of which offer private balconies. As noted in the CHIS, the inclusion of balconies would soften the vertical emphasis of the design, reinforce the residential character of the development, and complement the detailing of adjacent single-family homes. A typical pattern of early infill apartment buildings in Centretown is for generous-sized balconies stacked above entrance lobbies.
- An important characteristic of Centretown is the presence of trees and other soft landscaping, which complement and reinforce the residential character. Heritage Ottawa is pleased by the retention of a mature street tree, currently located in the front yard. However, it is noted that existing side yard trees will be removed and that no replacement trees are proposed. Given the generous size and depth of the rear yard setback, we recommend that at least one additional tree be

included in the rear yard, which would be in keeping with the pattern of landscaped yards and contribute to greening the city centre.

- Also, regarding the rear yard, the landscape plan calls for “sod”. Heritage Ottawa encourages the Planner to seek assurances that the soft landscaping will include the use of living plant material throughout the site (and not artificial “turf”, as has occurred elsewhere) as well as the predominance of soft landscaping (as opposed to hardscaping).

The Centretown Citizens Community Association was notified on October 24, 2019.

The plans were posted on the City’s DevApps website on October 24, 2019.

Neighbours within 30 metres of the subject property were notified of the application and meeting dates and offered the opportunity to provide written or verbal comments.

COMMENTS BY THE WARD COUNCILLOR

Councillor McKenney is aware of the application related to this report.

LEGAL IMPLICATIONS

There are no legal implications associated with implementing the recommendations within this report.

RISK MANAGEMENT IMPLICATIONS

There are no risk management implications associated with the recommendations of this report.

ASSET MANAGEMENT IMPLICATIONS

There are no direct asset management implications with the recommendations of this report.

FINANCIAL IMPLICATIONS

There are no direct financial implications.

ACCESSIBILITY IMPACTS

There are no accessibility impacts associated with the recommendations of this report.

TERM OF COUNCIL PRIORITIES

This project addresses the following Term of Council Priority:

- HC4 – Supports Arts, Heritage and Culture

APPLICATION PROCESS TIMELINE STATUS

The application was processed within the 90-day statutory requirement under the *Ontario Heritage Act*.

SUPPORTING DOCUMENTATION

Document 1 Location Map

Document 2 Current Conditions

Document 3 Heritage Survey Form

Document 4 Statement of Heritage Character

Document 5 Site Plan

Document 6 Elevations

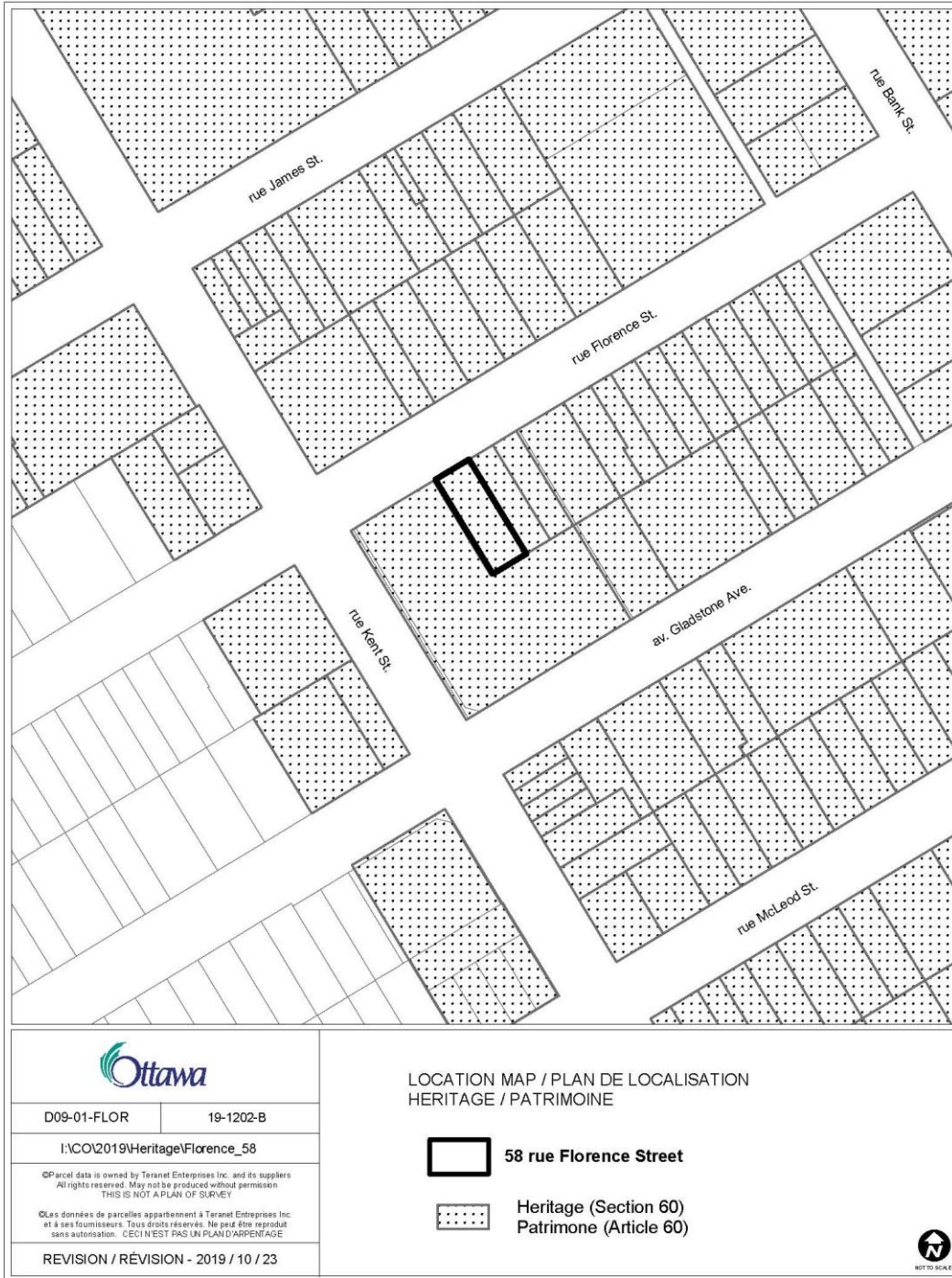
Document 7 Renderings

Document 8 Cultural Heritage Impact Statement

DISPOSITION

City Clerk and Solicitor Department, Legislative Services, to notify the property owner and the Ontario Heritage Trust (10 Adelaide Street East, 3rd Floor, Toronto, Ontario, M5C 1J3) of Council's decision.

Document 1 – Location Map



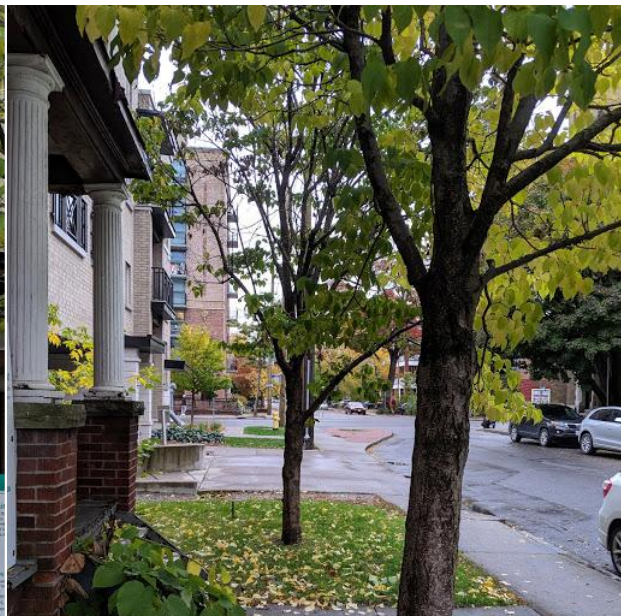
Document 2 – Current Conditions

(Left) Subject property with the existing building | (Right) Interior side yard lot between existing building and contemporary apartment building to the west



(Left) Interior side yard, east side

(Right) Front yard, facing west





Rear yard, facing west

Rear Yard facing northwest (portion of existing building to be demolished visible)



Document 3 – Heritage Survey Forms

CITY OF OTTAWA
DEPARTMENT OF PLANNING & DEVELOPMENT
COMMUNITY PLANNING BRANCH

HERITAGE SURVEY
AND
EVALUATION FORM

BUILDING FILE NO.
HERITAGE DISTRICT FILE NO.
OHR 4035/0200

Municipal Address: 58 Florence St.
Building Name:
Legal Description:

Lot: Lot 8 and E12.5' Lot 9 Florence S Block: 381 (F.I.P.)
Plan: 21612
Additions:
Original Owner:

Date of Construction: 1879-1901
Original Use: Single Residential
Present Use: Multiple Residential (O.C.D. 1993)
Argentina
Present Zoning: R 5-X (2.0) *24*
Planning Area: Centretown

Present Owner: Carmen Scaffidi and Sheila

PHASE ONE SURVEY

Potential Significance	Considerable	Some	Limited	None
History	(Pre- 1870 - 1915)	(1915 to 1940)	(1940 to 1965)	(1965 to present)
(Date of Construction)	3	2	1	0
Architecture	3	2	1	0
Environment	3	2	1	0
(Landmark or Design compatibility)				

Phase One Survey Score /9
Potential Heritage Building Yes/No
Potential Heritage District Yes/No

Prepared By:

PHASE TWO EVALUATION RESULTS
(Summarized from Page 4)

Category 1 2 3 4

Part V Definite Yes/No
Part IV Potential Yes/No

IF PART IV, By-law/Date:

IF PART V:

HERITAGE DISTRICT NAME:
Centretown

BY-LAW/DATE:

COMMENTS:



58 FLORENCE

PHOTO DATE: May 1995
VIEW: N
SOURCE: K. Deever
NEGATIVE NUMBER: FB-15

HISTORY

PREPARED BY: M. Carter

DATE: Fall 1995

Date of Construction:

Factual/Estimated

Sources:

Trends:

Events:

Persons/Institutions:

Summary/Comments On Historical Significance:

Historical Sources (Coded):

ARCHITECTURE

PREPARED BY: J. Smith

DATE: Fall 1995

Architectural Design (Plan, Storeys, Roof, Windows, Materials, Details, Etc.): 2 1/2 storey hip-roofed residence. Brick veneer, simple wood trim and porch

Architectural Style: Vernacular Edwardian

Designer/Builder/Architect:

Architectural Integrity (Alterations): Very good, porch replaced

Other (Structure, Interior, Building Type, Etc.):

Summary/Comments On Architectural Significance: good example of turn of the century residential design

ENVIRONMENT

PREPARED BY: J. Smith

DATE: Fall 1995

Planning Area: Centretown

Heritage Conservation District Name: Centretown



PHOTO DATE: Winter 1995
VIEW:
SOURCE: K. Deevey
NEGATIVE NUMBER:

Compatibility With Heritage Environs: Compatible with heritage residential/commercial environment

Community Context/Landmark Status:

Summary/Comments On Environmental Significance: helps establish heritage residential/commercial character

Document 4 – Statement of Heritage Character

Centretown has always been a predominantly residential area, functionally linked to Parliament Hill and the structures of government. Over the past century, it has housed many individuals important to Canada's development as a nation.

The built fabric of this area is overwhelmingly residential. It is dominated by dwellings from the 1890-1914 period, built to accommodate an expanding civil service within walking distance of Parliament Hill and government offices. There is a wide variety of housing types from this period, mixed in scale and level of sophistication. It had an early suburban quality, laid out and built up by speculative developers with repetitive groupings.

There is a sprinkling of pre-1890 buildings on the north and south perimeters, which predate any major development. There are also apartment buildings constructed and redeveloped during the 1914-1918 period in response to the need to house additional parliamentary, military, civil service and support personnel. In the recent 1960-1990 period, the predominantly low-scale environment has been punctuated by high-rise residential development.

Over the past century, this area has functioned as soft support for the administrative and commercial activity linked to Parliament Hill. In addition to residences, it has accommodated club facilities, organizational headquarters, institutions, professional offices and transportation services, all associated with Ottawa's role as national capital. Conversely, many of the facilities that complement Centretown's existence as a residential community have traditionally been situated in the blocks between Laurier and Wellington, closer to Parliament Hill.

Centretown has one major commercial artery, Bank Street. This street predates the community of Centretown both as a commercial route and as the major transportation corridor between Parliament Hill and outlying areas to the south. Bank Street has always serviced the entire area, with secondary commercial corridors along Elgin, Somerset and Gladstone in select locations and time periods. The Bank Street commercial corridor broadens onto associated side streets in periods of intense pressure, then narrows back to the street itself with commercial activity in decline.

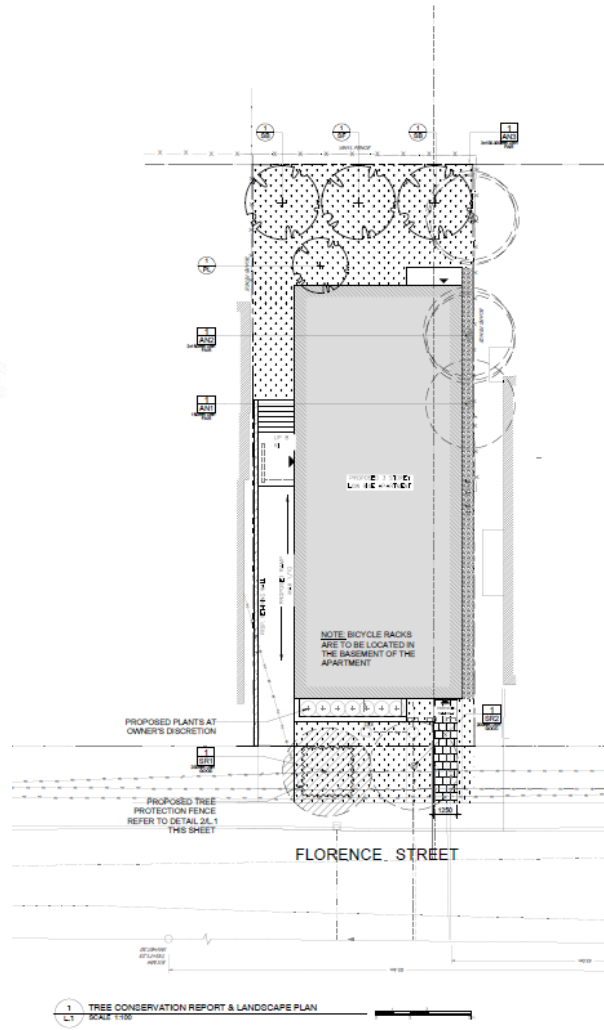
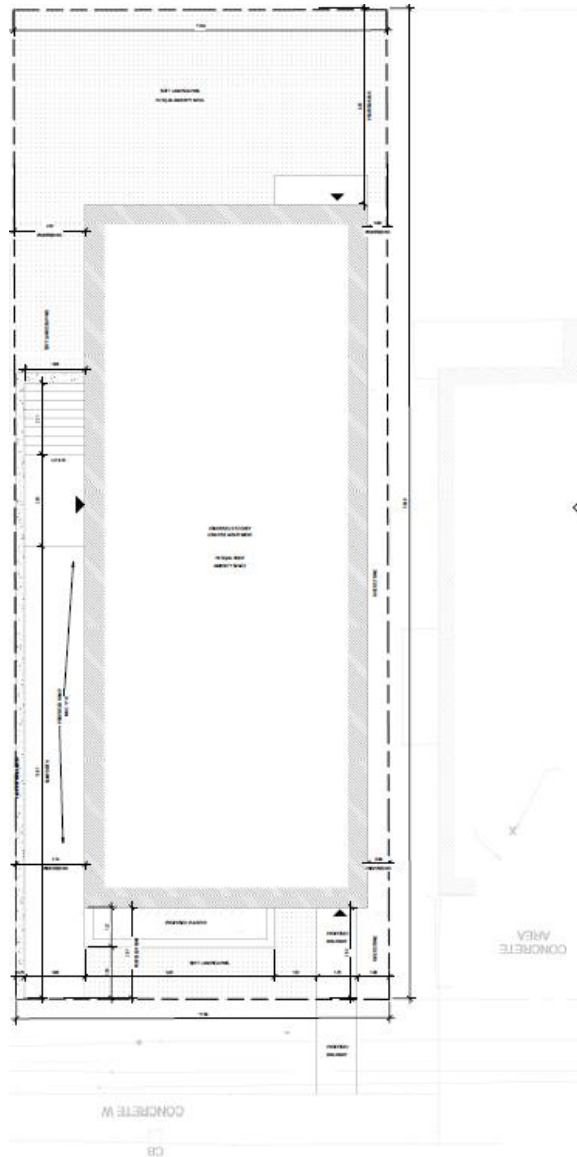
Centretown itself has always been an access route to Parliament Hill. There is a long-standing pattern of north/south movement through the area by outsiders. Over the years, this pattern has been supported by livery locations, streetcar routes and automobile traffic corridors. Long distance travellers have traditionally arrived on the

transportation corridor that marks the south boundary of the area- originally the Canadian Atlantic Railway and later its replacement, the Queensway. Travel within Centretown occurs east/west radiating from Bank Street.

As the federal government's residential quarter, planning initiatives in Centretown have been influenced by both federal and municipal authorities. Federal intervention in this area has established some of its unusual qualities such as the formal emphasis on the Metcalfe Street axis, early enhancement of its residential quality, and a number of its parks and services. The streetscapes have traditionally been enhanced by extensive public tree planting and other hard and soft landscape features, many of which have been in decline since the period of extensive tree removal in the 1930s and 40s. However, the scale and texture of the heritage streetscape are still discernable.

This area is unique both as an early residential suburb and as the temporary and permanent home of many of those who have governed and shaped the nation.

Document 5 – Site Plan and Landscape Plan



Document 6 – Elevations



Front Elevation



Rear Elevation

Document 7 – Renderings



View from Florence Street, looking directly at the property



View looking east along Florence Street

Document 8 – Cultural Heritage Impact Statement (CHIS)

A CULTURAL HERITAGE IMPACT STATEMENT

58 Florence Street, Ottawa, Ontario

SUBMITTED TO: NOVATECH Engineers, Planners & Landscape Architects

PREPARED BY: COMMONWEALTH HISTORIC RESOURCE MANAGEMENT



October 2019

Cover Image: Rendered perspective view of the proposed development showing its relationship to the two adjacent properties. Note that some design changes have occurred subsequent to the development of this image. See drawings in Section 4.

Source: Tanner Vine Interiors October 2019.

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1.0 INTRODUCTION

This Cultural Heritage Impact Statement (CHIS) has been requested by the City of Ottawa. The purpose of the CHIS is to identify the cultural heritage resources and values that may be impacted by the demolition of a building at 58 Florence Street and construction of a three-storey apartment building with a total of eight units. The property is located within the Centretown HCD. The existing building is identified as a Category 2 heritage resource. It was structurally damaged due to a shoring failure subsequent to 2011 when a new building was constructed to the west and south of the site (429 Kent Street).

The CHIS is intended to evaluate the impact of the demolition in a manner that is consistent with the City of Ottawa Official Plan Section 4.6.1. This CHIS follows the content outline recommended by the City of Ottawa for Cultural Heritage Impact Statements.

The applicant is filing for site plan control, and minor rezoning of the property.

The following documents were consulted in the preparation of this report:

- Parts IV and V of the *Ontario Heritage Act*;
- Guidelines for the Preparation of Cultural Heritage Impact Statements, City of Ottawa;
- Centretown Heritage Conservation District Study, 1997;
- Heritage survey and evaluation forms for 58 and 54 Florence Street;
- Planning Rationale and Design Brief, Novatech Engineers, Planners & Landscape Architects. July 2019;
- Landscape Plan, Novatech, October 2019;
- Survey Plan, Lot8 and Part of Lot 9 South Side of Florence Street, Registered Plan NO.21612, J.D.Barnes Ltd., October, 2012;
- Proposed new development plans, images, renderings Tanner Vine Interiors, October 2019;
- Proposed site, floor plans, elevations. Evolution Design & Drafting. July 5, 2019;

- Standards and Guidelines for the Conservation of Historic Places in Canada, Second Edition, 2010.

1.2 Present Owner and Contact Information

Address:

58 Florence Street, Ottawa, ON

Contact:

Danna See-Har, M.PL., Planner

NOVATECH Engineers, Planners & Landscape Architects

240 Michael Cowpland Drive, Suite 200, Ottawa, ON, K2M 1P6

Tel: 613.254.9643 x 296

1.3 Site Location, Current Conditions and Introduction to Development Site

The property is located within the Centretown neighbourhood on the south side of Florence Street to the east of Kent Street. The block is bound by Bank Street to the east, Florence Street to the north, Kent Street to the west and Gladstone Avenue to the south.

The house is a detached two and one-half storey brick clad residence with a gabled hip roof constructed circa 1901-1912 (according to FIP Detail Sheet 56 figure 11: 1888 Rev. 1901 the property is vacant whereas the FIP detail sheet 66, 1901 Rev 1912 Figure 12 shows the building).

During the construction of the adjacent building to the west (429 Kent Street), there was a shoring failure along the shared property line, causing the foundation of 58 Florence Street to settle and shift by several centimetres. Large cracks in the foundation, both vertical and horizontal, are evident along all faces of the foundation, indicating both differential settlement and a lateral shift of portions of the foundation toward the west property line (see Appendix A Structural Condition Letter).

The proposal is to demolish the existing building due to its structural condition and construct a three-storey brick clad apartment building on the site.

1.4 Concise Description of Context

The development site is located in the Centretown HCD designated under Part V of the *OHA* in 1997 (By-law 269-97). The south and north sides of Florence Street to the east of the development site consists of single detached, two, two and one-half, and three-storey brick clad residences constructed between 1888 and 1930. A three-storey condominium was constructed circa 1991-99 (Geotown Aerials) adjacent to the west and south property lines that resulted in structural damage to the foundation walls.

The building at 58 Florence Street was evaluated as a Category 2 heritage property, which means that it contributes to the character of the streetscape, and its architectural value is not insignificant.

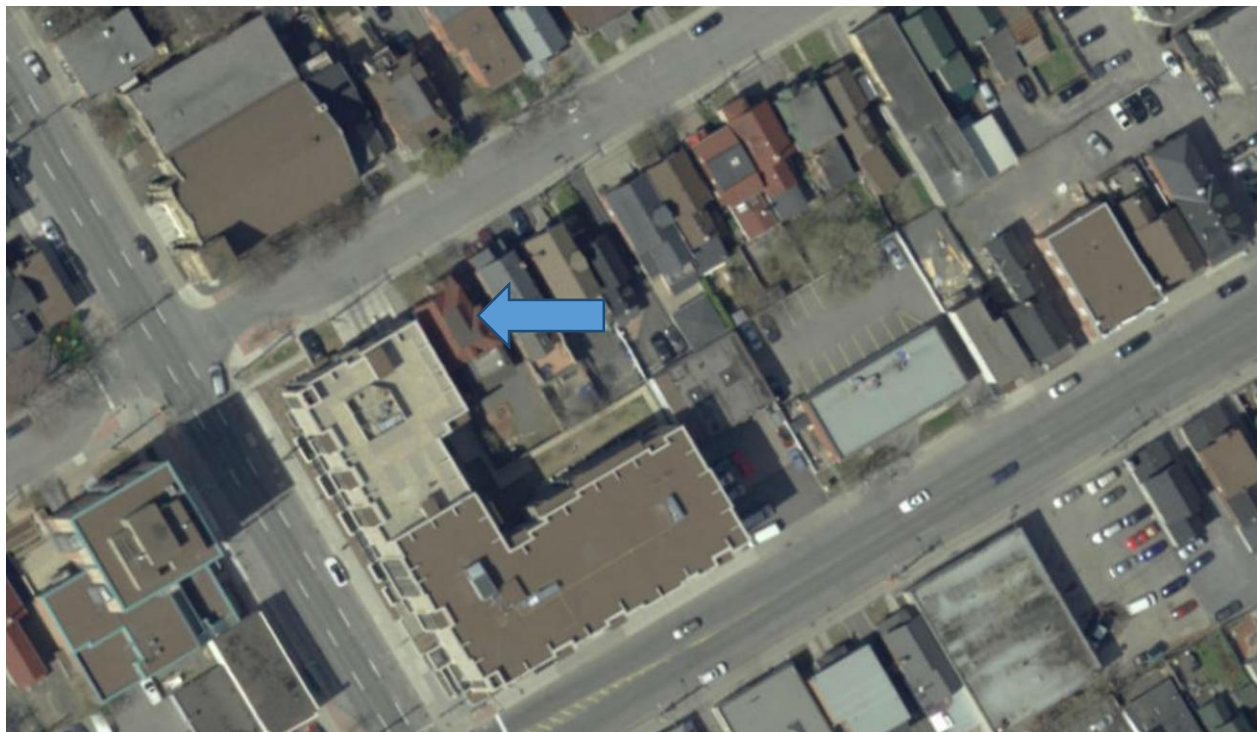


Figure 1: Aerial view of the property showing its context within Centretown. Site arrowed. Source: Google Earth

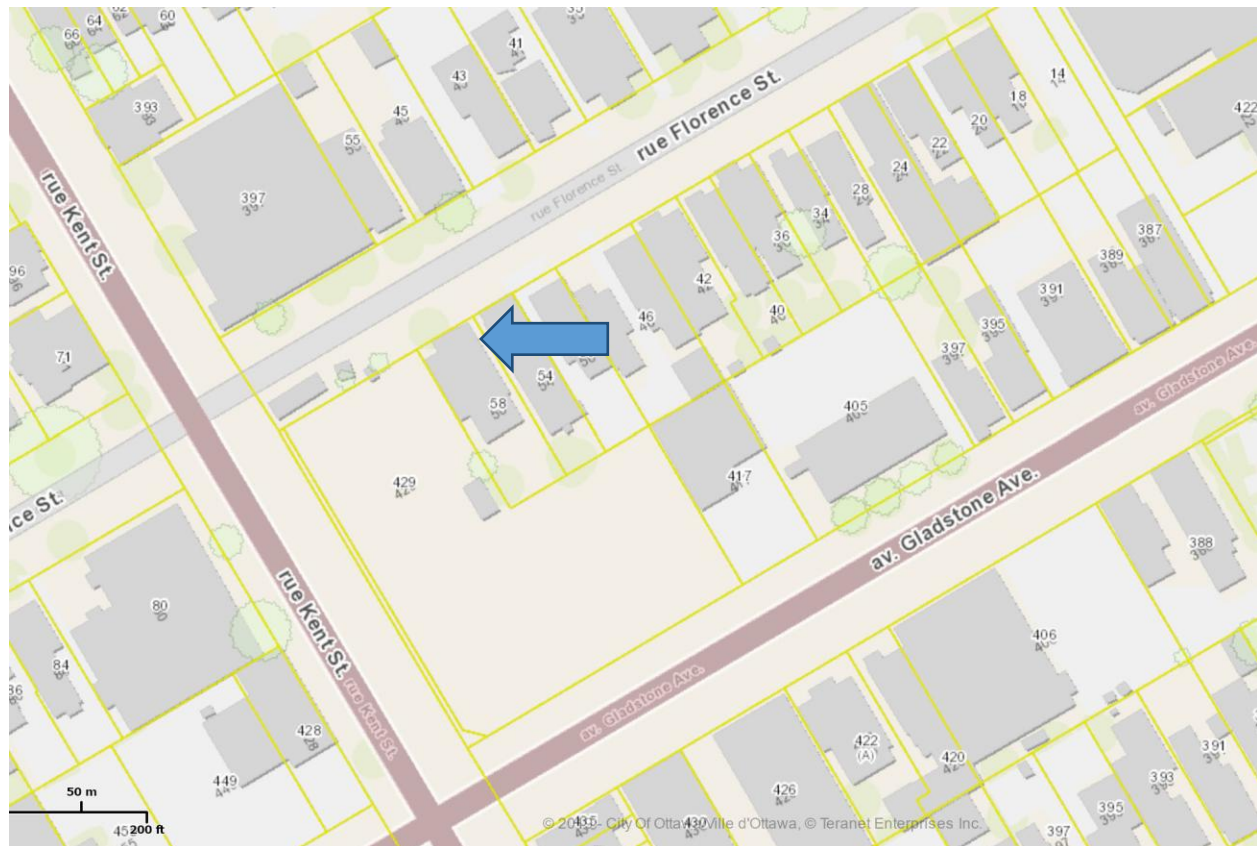


Figure 2: Block plan of the site illustrating surrounding context and lot divisions. Site Arrowed. Source: Geoottawa.

1.5 Cultural Heritage Context and Street Characteristics

The development site is located within the Centretown HCD that was recognized in 1997 under Part V of the *Ontario Heritage Act* (OHA) (By-law 269-97). The development site is located to the east of Kent Street in an area consisting of traditional single detached brick clad, gable and flat roofed residences constructed between 1888 and 1930. The residences are set back uniformly from the street with entrance porches facing the street. Front yard landscaping consists of lawns and soft landscaping (shrubs and trees) interspersed with asphalt and concrete walkways and driveways.

The adjacent built heritage context to the east of the site consist of 2 ½-storey brick clad residences with gabled hip roofs typical of the Edwardian era. The site is across the street from Trillium Hall (Chinese Canadian Heritage Centre) a distinctive brick clad church with stone detailing in a Tudor Revival Style that has been categorized as a Group 1 heritage resource. Individual heritage properties in the HCD were evaluated

and assigned a Group or Category ranging from 1 to 4; Group 1 through Group 3 properties are considered contributing heritage properties Group 4 properties are considered non-contributing to the CHCD. The property at 58 Florence Street was evaluated as a Category 2 heritage resource.



Figure 3: Centretown Heritage Conservation District ground plan detail. Development site arrowed. Source: Centretown Community Design Plan, City of Ottawa



Figure 4: View of the development site 58 Florence Street to the right concealed behind the trees, and 54 Florence Street to the left.

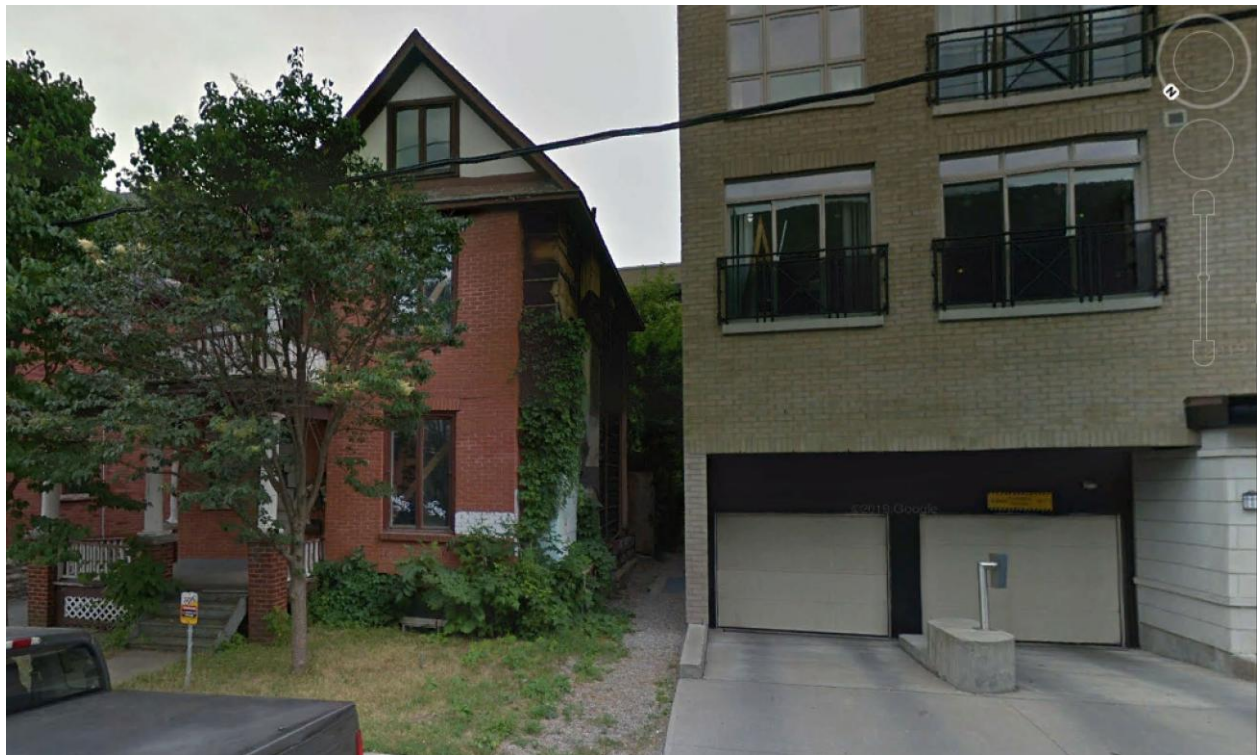


Figure 5: Context view of 58 Florence Street (left) and 429 Kent Street (right). Source: Google Earth.

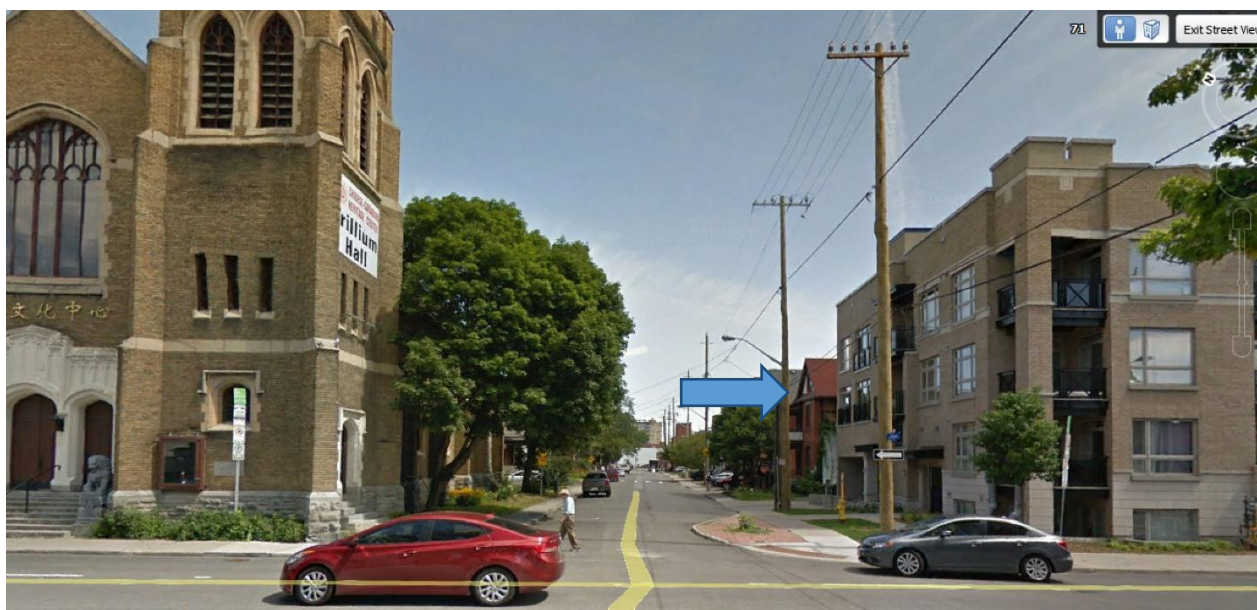


Figure 6: View east on Florence Street from Kent Street. The development site / building is arrowed. Source: Google Earth



Figure 7: View of 45 (right) and 55 (left) Florence Street to the north of the development site. Note the landscaping treatment, lawns interspersed with shrubs and trees, with asphalt and concrete sidewalks and driveways. Source: Google Earth

1.6 Relevant Information from Council Approved Documents

Cetretown Heritage Conservation District Study (1997).

The CHCD was formally recognized under Part V of the *Ontario Heritage Act* by the City of Ottawa in 1997. Any new infill development should consider the Guidelines for Infill contained in the Centretown HCD Study.

Zoning By-law - Heritage Overlay Section 60

1. **General Provisions** - Where a building in an area to which a heritage overlay applies is removed or destroyed it must be rebuilt with the same character and at the same scale, massing, volume, floor area and in the same location as existed prior to its

removal or destruction. (By-law 2014-289) (By-law 2015-281) (By-law 2014-289) The applicant will be seeking relief from the provisions of Section 60 Heritage Overlay.

Mature Neighbourhoods By-law.

1.7 Digital Images of Cultural Heritage Attributes

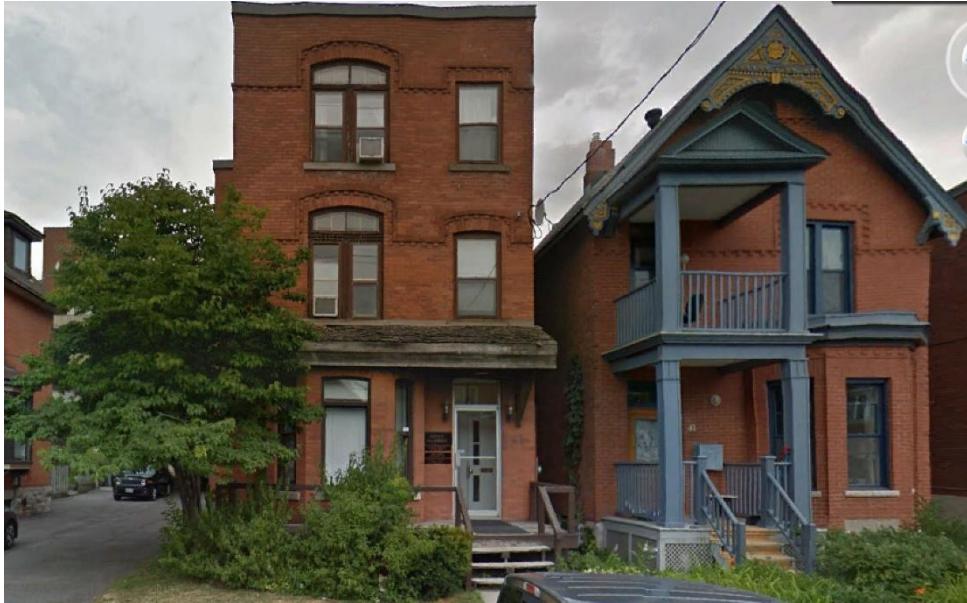


Figure 8: View of 41 (right) and 43 (left) Florence Street. Source: Google Earth

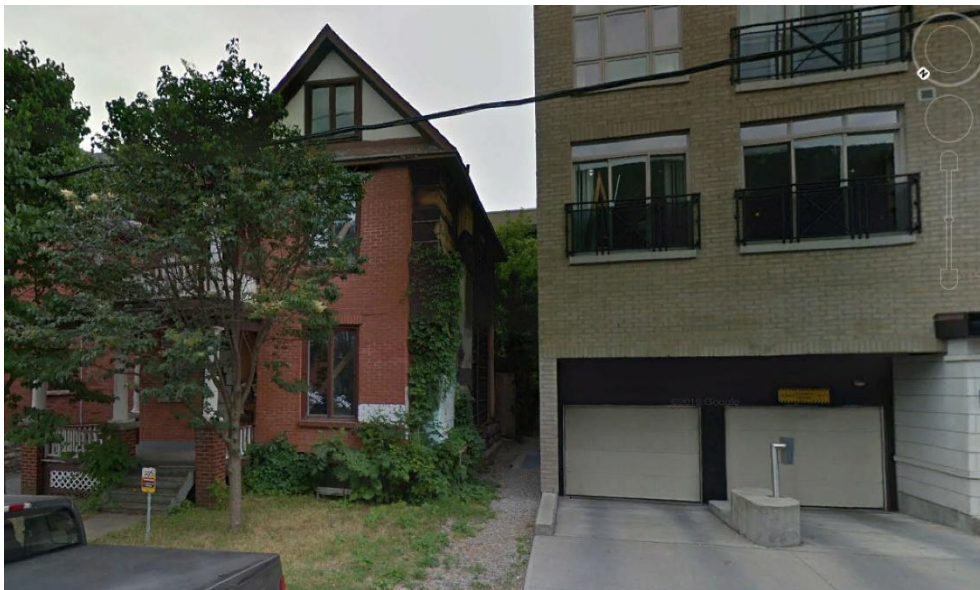


Figure 9: View of 58 Florence Street (left). Note the two storey entrance porch, recessed entrance, and landscape treatment. Source: Google Earth.

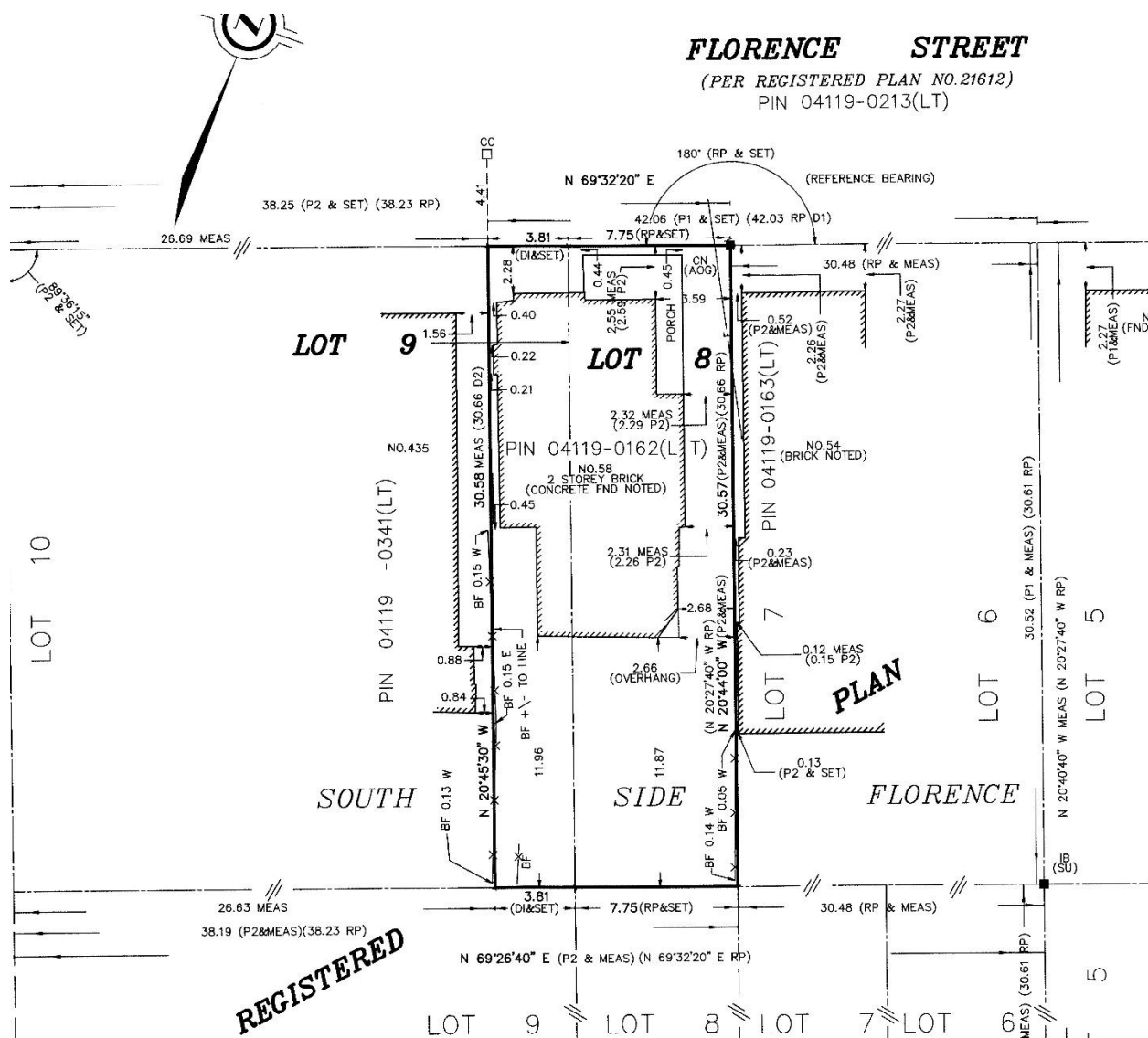


Figure 10: Survey plan of 58 Florence Street illustrating the existing and adjacent buildings setbacks from the street. Source: J.D. Barnes Ltd. June 22, 2012.

2.0 HERITAGE RESOURCE DESCRIPTION AND HISTORY

2.1 58 Florence Street

The existing brick clad building on the site was constructed between 1901 and 1912 (FIP). The residential area was developed between 1888 through to the 1930s with an eclectic mix of vernacular brick and wood clad detached residences and apartments two to three storeys in height.

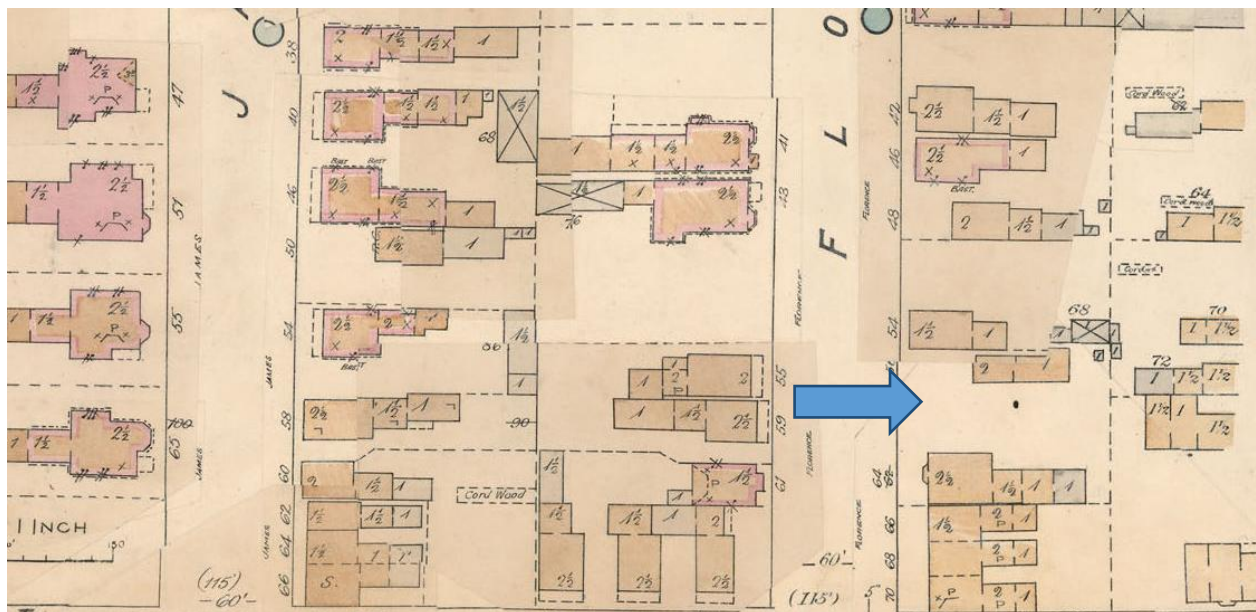
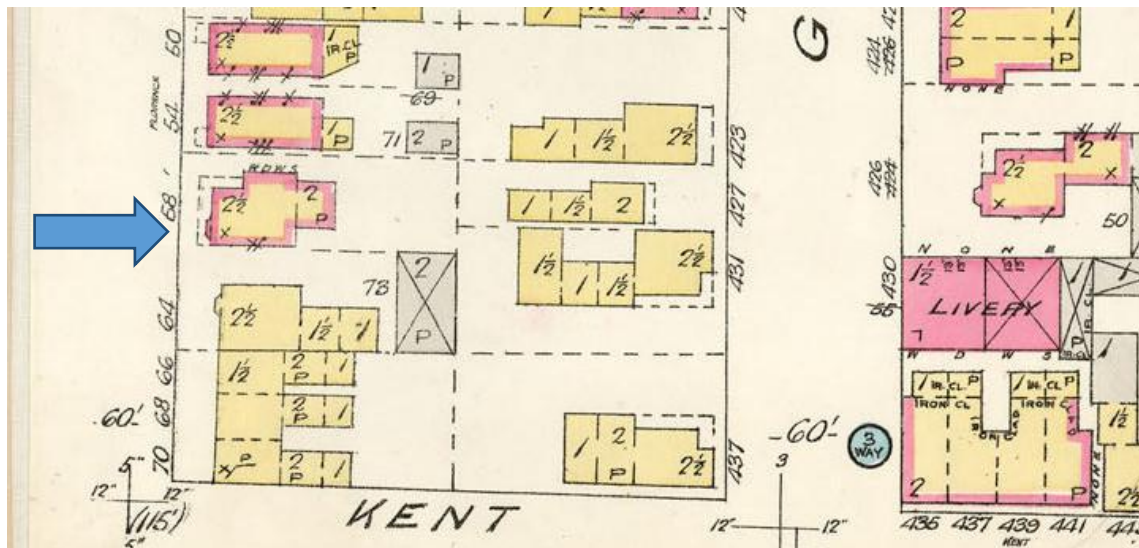


Figure 11: 1888 Rev. 1901 FIP Detail Sheet 56. Note the typical detached residential development. The property at 58 Florence was undeveloped at the time. Site arrowed. Source: Library and Archives Canada.



Figure

12: FIP 1901 Rev. 1912 Sheet 66 Site arrowed. Note the row of brick clad houses adjacent to the site. Note the group of wood frame buildings fronting onto Kent and Glasdstone Streets which were demolished beginning in the 1950s. Source: Library and Archives Canada.



Figure 13: 1965 aerial view of the development site (arrowed). Note the demolition of the former residences fronting onto Kent Street and the development of surface parking lots. Source: Geoottawa



Figure 14: 1991 aerial view of the area. The building that was adjacent (west) of the development site 429 Kent Street was demolished sometime between 1991 and 1999 and the existing condominium completed. Development site arrowed. Source: Geoottawa

3.0 HERITAGE CHARACTER STATEMENT CENTRETOWN HERITAGE CONSERVATION DISTRICT

3.1 Introduction

The following Statement of Heritage Character identifies the primary heritage values and attributes of the Centretown HCD.

3.2 Statement of Heritage Value

The following are excerpts from the statement of cultural heritage character for the Centretown HCD taken from the listing on Historic Places in Canada.

DESCRIPTION OF HISTORIC PLACE

The Centretown HCD is a primarily residential area, with some commercial corridors, within downtown Ottawa. Centretown consists of many blocks in the centre of Ottawa, south of Parliament Hill, to the north of the Queensway corridor and to the west of the Rideau Canal. Since its development, Centretown has served as a residential community serving the government activities of Uppertown and has been home to many

of the civil servants and government ministers of Parliament Hill. The buildings comprised in the district were mainly constructed between the 1880s and the 1930s and the original low to medium residential scale is relatively intact throughout the area. The District was designated under Part V of the Ontario Heritage Act by the City of Ottawa in 1997 (By-law 269-97).

HERITAGE VALUE

The Centretown HCD has close associations with the governmental character of Uppertown to the north and developed as a desirable neighbourhood for the transient population of government workers and ministers. Centretown still contains a large variety of relatively intact historic streetscapes, reflecting the diverse nature of development that occurred in the area in order to serve the varied population. Throughout its development, the area reflected national politics and priorities of the time.

The majority of buildings within the Centretown HCD date from the 1890-1914 period. This was a period of mature design and craftsmanship in the Ottawa area, related to the new prosperity of the expanding national capital and the availability of excellent building materials such as smooth face brick of Rideau red clay, a good selection of sandstones and limestones, a full range of milled architectural wood products, and decorative components in terra cotta, wrought iron and pressed metal.

The dominant character of Centretown remains heritage residential. While most buildings retain their residential use, many others have been converted for use as professional offices, or small retail or commercial establishments. The most common residential building type is the hip-roofed single-family home, with a projecting gabled bay on an asymmetrical façade. Flat roofed, medium density apartment buildings also play a strong role in defining the character of the District. Also, a few commercial corridors, most notably Bank street, run through the area while still reflecting the low scale and architectural character of the rest of the district.

Centretown's landscape is unified by historical circumstance. Both Stewarton and the By Estate opened for development in the mid-1870s and developed under consistent pressures. Together they constituted the entire area within the boundaries of Centretown. The idea of a separate residential neighbourhood close to downtown was relatively rare, although the concept became increasingly popular in Canadian cities as the nineteenth century drew to a close. Along with residential Uppertown, Centretown

has provided walk-to-work accommodation for Parliament Hill and nearby government offices. As part of the residential quarter of official Ottawa, Centretown was a sensitive mirror of national politics.

Centretown is the surviving residential community and informal meeting ground associated with Parliament Hill. Its residents have had an immense impact upon the development of Canada as a nation. While Canada's official business was conducted around Parliament Hill, its Members of Parliament and civil service lived and met in the area immediately south. Centretown is ripe with evidence of behind-the-scenes politics, of the dedication, talent and character that have formed Canada.

CHARACTER-DEFINING ELEMENTS

Character defining elements that contribute to the heritage value of the Centretown HCD include:

- the heritage residential character of the district, featuring low to medium scale development
- the original grid block layout and plan
- relatively intact residential streetscapes
- predominant use of Rideau red clay decorative brick veneer with trim details in stone, wood and pressed metal
- its varied building types and styles due to the diverse populations of the area
- its single-family homes executed in a vernacular Queen Anne style, with substantial wood verandas and elaborate trim, varying in size
- its low-rise apartment buildings with similar detailing to single family dwellings but featuring horizontal layering and flat roofs
- its commercial corridor on Bank Street, consisting of low-rise commercial and mixed-use buildings set close to the street.
- its development during a significant period in the growth of Ottawa as the government centre of Canada.

- its connection with Uppertown and the governmental activities which occur there.
- its associations with many people and institutions of national prominence who have played an important role in shaping Canada.
- its historical role as a meeting place for governmental and community groups, clubs and organizations

4.0 DESCRIPTION OF PROPOSED DEVELOPMENT

4.1 Introduction

The proposal is to demolish the two and one-half storey building on the site and construct a three storey apartment building with a total of eight units – four one-bedroom and four two-bedroom. The basement contains a centrally located service room for garbage and recycling that is accessed by a ramp from Florence Street. No onsite parking is being proposed. The roof contains a penthouse and an outdoor amenity area.

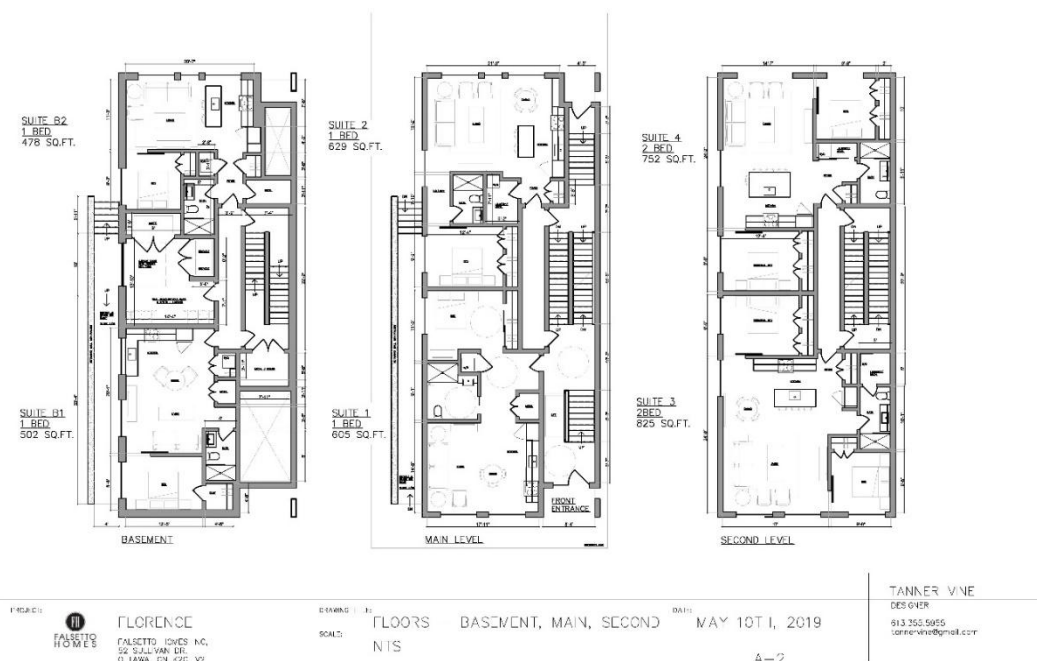


Figure 15: Proposed floor layouts for the apartment building. Source: Tanner Vine, 2019

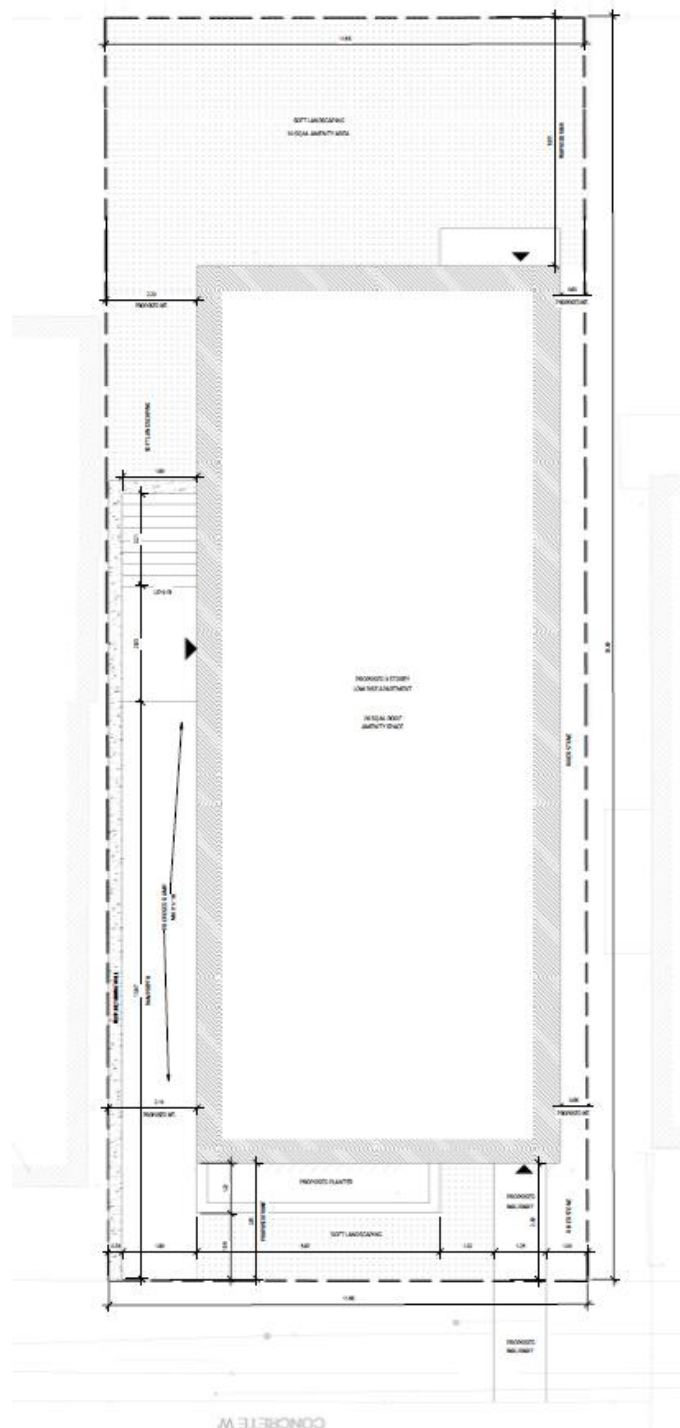


Figure 16: Site plan of the proposed development illustrating setbacks and hard and soft landscaping Note the proposed concrete retaining wall. Source: Evolution Design October 2019.



Figure 17: Rendered north elevation showing the relationship of the building to adjacent properties. Source: Tanner Vine October 17, 2019.



Figure 18: Bird's eye view of the development site from the west. Source: Tanner Vine October 17, 2019.



Figure 19: Oblique view of the development site from the east. Source: Tanner Vine October 17, 2019.



Figure 20: View of the rooftop patio. October 2019. Source: Tanner Vine.

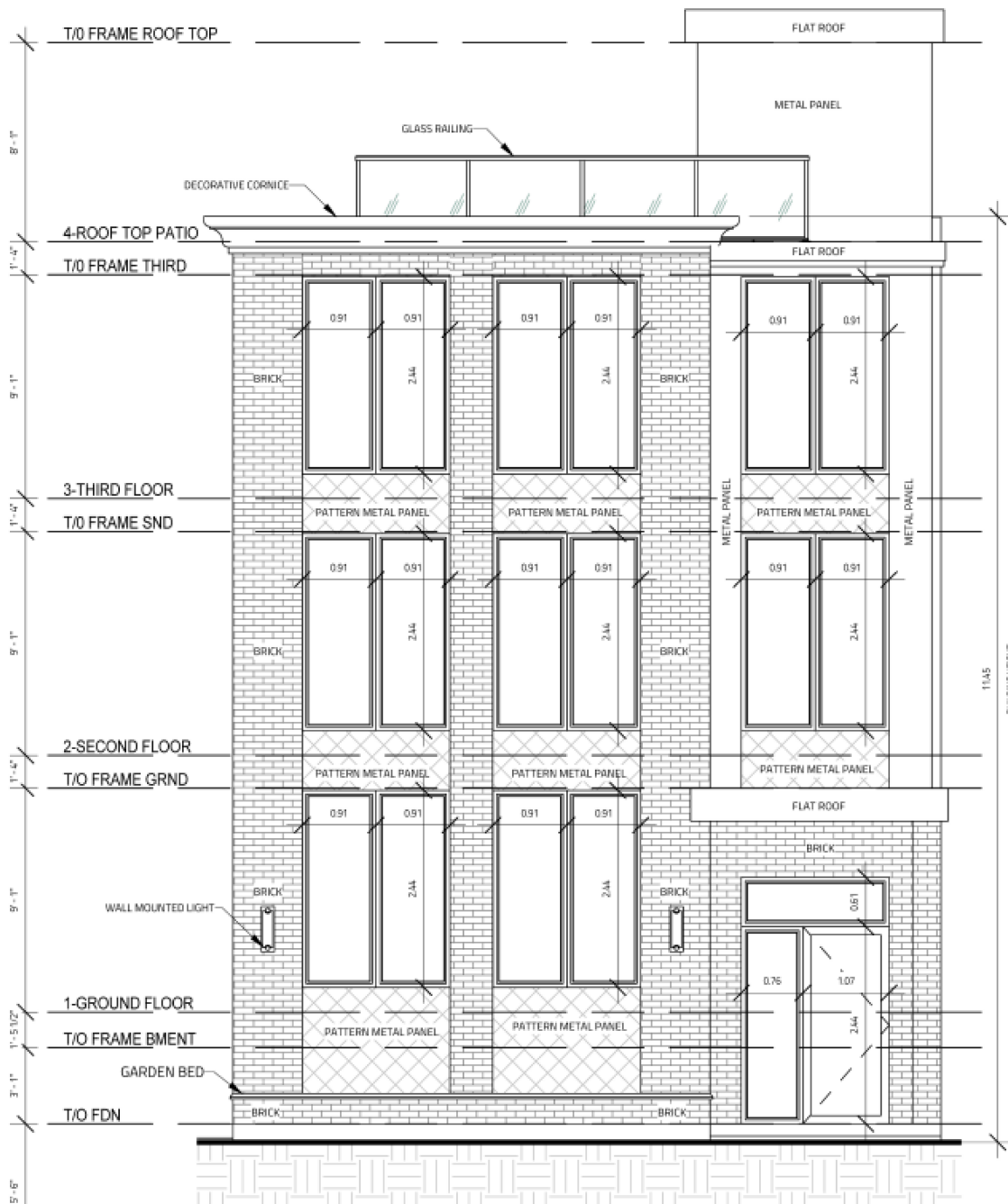


Figure 21: North (street) elevation of the proposed development. Evolution Design, 2019.



Figure 22: South elevation of the proposed development. Evolution Design July 5, 2019.



Figure 23: Side (east) elevation of the proposed development. Source: Evolution Design July 5, 2019.

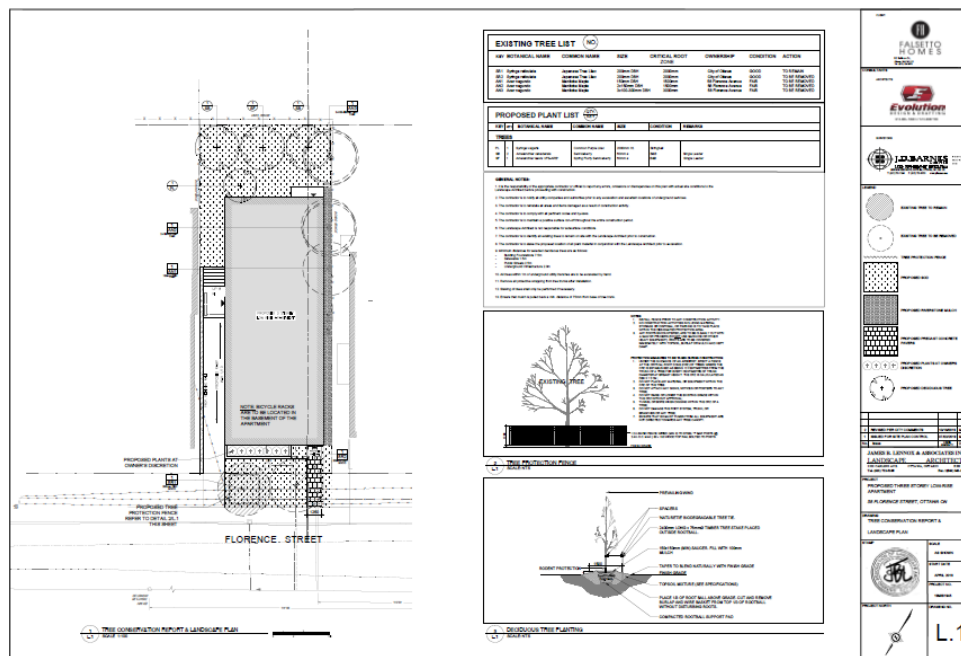


Figure 24: Landscape plan with planting details showing the proposed treatment of the grounds. Source: J. D. Barnes. May 2019.

5.0 IMPACT OF PROPOSED DEVELOPMENT

5.1 Introduction

This section specifically addresses the impacts of the development proposal on the cultural heritage values of the Centretown HCD. The heritage attributes of the HCD are itemized in Section 3.0. Applicable guidelines follow.

5.2 Centretown HCD Guidelines

The following guidelines are excerpted from the CHCD and appear in *italic*. The following is a discussion of how the proposed development compares with the guidelines:

Guidelines for Infill

The guidelines in this section are intended to guide the design of new buildings in the heritage conservation district. These guidelines should be read in conjunction with applicable municipal planning policy and by-laws, including the Zoning By-law (Heritage Overlay Section 60, and Mature Neighbour Overlay) and the Official Plan.

1. *All infill should be of contemporary design, distinguishable as being of its own time. However, it must be sympathetic to the heritage character of the area and designed to enhance these existing properties rather than calling attention to itself.*

Discussion: As noted in the pre-consultation meeting with heritage staff concerning the proposed development '*Given the adjacency to the contemporary four-storey building to the west, there is an opportunity to design a building that transitions appropriately between the contemporary structure at the corner of Kent and Florence Streets, and the two-and-a-half storey red brick house to the east.*' The heritage character of the area consists of a uniform setback of buildings from the street property line, with entrance porches one to two stories in height, with hard and soft landscape consisting of lawn and shrubs. The proposed setback of the building is in-line with the new condominium development to the west; however, is inconsistent with the traditional setback of the existing residence on the site and the heritage buildings to the east. The proposed red brick cladding of the structure is sympathetic to the predominant red brick finishes that typify the adjacent heritage buildings. The proposed black metal finishes for the spandrel panels and other areas on the exterior walls works well with the red brick;

however, is not a colour that is common in the older heritage buildings in the district but is in-keeping with the darker palette of colours used.

2. *The form of the new infill should reflect the character of existing buildings on adjoining and facing properties. The buildings should normally be three or four storeys in height, with massing and setbacks matching earlier rather than later patterns still evident in the immediate area.*

Discussion: The form of the proposed building – three storeys in height, with flat roof is consistent with the new development to the west, and the heritage building at 43 Florence Street (Figure 8) to the north and east of the development site. The front entrance is recessed back from the principal façade a characteristic of the heritage buildings to the east. The two storey porch form that provides an opportunity for residents to engage with neighbours, and animate the street is absent from the design. The proposed fourth floor communal amenity area is provided as an alternative.

3. *Single family homes, rowhouses, and townhouses developments should reflect the rhythm of early lot development, with gables, balconies, or other features providing an appropriate scale. Small multiple-unit residential developments should reflect the U-shaped and H-shaped patterns of earlier examples, with emphasis on the entrances.*

Discussion: The proposed infill development is located on an original lot. Recessed balconies or amenity areas for each unit are absent from the design

4. *Brick veneer should be the primary finish material in most areas, to maintain continuity with existing buildings. Trim materials would commonly be wood or metal; the details at cornices, eaves, and entrances should be substantial and well detailed. Colours should be rich and sympathetic to existing patterns. Lighting should be discreet and can be used to highlight architectural features.*

Discussion: A red brick veneer is the primary finish with black metal panels as a secondary finish. The principal façade is dominated by the stacked window extending through three floors with secondary black metal finishes in the spandrel panels between floors giving the façade a vertical orientation.

Comments from the Preliminary Consultation with the Heritage Department

Given the lot dimensions, and streetscape context, it is advised that the setbacks, and height provisions be respected, in order to allow the proposed building to fit the context

of the streetscape, which is dominated by two-and-a-half storey detached houses red brick houses.

Discussion: Setbacks and height provisions for the area are discussed in the planning rationale prepared by Novatech. The proposed setback of 2.51m from the street for the new infill is consistent with the setback of the existing heritage building at 58 Florence Street and the adjacent property at 54 Florence Street.

Given the adjacency to the contemporary four storey building to the west, there is an opportunity to design a building that transitions appropriately between the contemporary structure at the corner of Kent and Florence Streets, and the two-and-a-half storey red brick house to the east.

Discussion: The proposed design is more in keeping with the massing and scale of the more recent condominium development to the west than the heritage building to the east. The principal façade is dominated by the paired stacked windows extending through three floors with black metal spandrel panels and window frames in the projecting bay. The black metal clad exterior walls at the second and third floor levels above the recessed brick clad entrance alcove is unresolved at the roof level and tends to emphasize the verticality of the design. The metal cornice above the projecting bay is well detailed; however, the cornice should extend across the width of the building as a dominant horizontal line.

Zoning By-law Section 60 Heritage Overlay

1. **General Provisions** - *Where a building in an area to which a heritage overlay applies is removed or destroyed it must be rebuilt with the same character and at the same scale, massing, volume, floor area and in the same location as existed prior to its removal or destruction. (By-law 2014-289) (By-law 2015-281) (By-law 2014-289).*

Discussion: The applicant is seeking relief from the provisions of the heritage overlay. The setback of the new infill building from the street is consistent with the existing buildings setback. In regard to building to the same character, scale, and massing these are considered in the Centretown HCD guidelines for infill.

5.3 Development Impacts

Positive impacts of the proposed development on the cultural heritage values of the HCD include:

The development reinforces the primarily residential character of the HCD with low to medium scale development;

The proposed low-rise apartment building is clad in a red brick, with a metal cornice band defining a flat roof which is consistent with other heritage buildings on the street;

The proposed design is generally in keeping with the guidelines for infill in the HCD. The alternatives proposed in this CHIS would improve the infill building's fit within the HCD.

Adverse impacts of the proposed development include:

The demolition of a Category 2 heritage resource 58 Florence Street; and

The roof top amenity space is not a traditional feature of the district where porches or balconies serving individual units on each floor level are more typical.

The existing building next door at 54 Florence Street is a heritage house most likely on a rubble foundation. It is likely that the basement is not a full depth foundation further it is likely that there are no footings under the foundation walls. The proposed basement foundation will be about 1.52 metres (5 feet) from the dwelling at 54 Florence Street; this means that the excavation for the basement will likely extend to about 0.61 metres (2 feet) to 0.91 metres (3 feet) from the neighbouring foundation. If the neighbouring foundation is really shallow or in poor condition, there is a potential that the proposed excavation can have an effect on the neighbour.

6.0 ALTERNATIVES AND MITIGATION STRATEGIES

6.1 Alternatives

Alternatives that could be explored include:

The principal façade is dominated by the stacked windows extending through three floors with black metal spandrel finishes that accent the verticality of the design. Consider reducing the size of the windows and inserting stone window sills to reduce the vertical character of the design;

Consider brick cladding on the exterior walls of the two floors above the brick clad entrance alcove and insert stone window sills;

Consider extending the cornice across the width of the building, to provide a dominant horizontal element, and to screen the railings that are proposed at the roof level for the outdoor rooftop amenity area;

Consider adding a window to the side or the east elevation. The windows would provide a view east along Florence Street and east light exposure;

Consider the introduction of small recessed balconies at each floor level that would provide access to the outdoors in all weather conditions;

Consider an alternate colour other than black for the secondary metal finishes: and,

Consider an alternate finish material other than brick for the foundation walls extending along the east elevation.

6.2 Mitigation Measures

The following are some suggested mitigation measures:

The proposed fourth floor penthouse for the roof top amenity area exceeds the height of the roof peak of the adjacent heritage property to the east. A characteristic feature within the HCD, would be to install small balconies on each unit.

Kollaard Associates Inc carried out the geotechnical work and determined that with the excavation extending to about 1.52 metres (5 feet) below grade there is little danger of the excavation slumping and causing The proposed basement foundation will be about 5 ft from the dwelling at 54 Florence; this means that the excavation for the basement will likely extend to about 0.61 metres (2 feet) to 0.91 metres (3 feet) from the neighbouring foundation. If the neighbouring foundation extends to at least 0.91 metres (3 feet) below grade, the proposed excavation will not result in loss of lateral support for the neighbouring "footings". They are recommending that an assessment be undertaken of the neighbouring foundation as part of the construction program. In terms of mitigation measures it is suggested that:

6.3 Conclusions

The proposed three-storey brick clad apartment building is sympathetic and respectful of the character of the heritage conservation district. The built form – three storeys with a flat roof – scale and materiality complement the adjacent heritage buildings in the *HCD*.

7.0 AUTHORS QUALIFICATIONS

Commonwealth Resource Management is an integrated consulting and management firm that offers a full range of professional services related to conservation, planning, research, design, and interpretation for historical and cultural resources. A key focus of the practice is planning and development for heritage resources. The firm was incorporated in 1984.

John J. Stewart, B.L.A., O.A.L.A., C.S.L.A., CAHP, a principal of Commonwealth is a specialist in the planning and design of cultural resources, building conservation, and commercial area revitalization. A graduate of the University of Guelph, he received additional training at Cornell University (USA) and Oxford University (UK) and holds a diploma in the Conservation of Monuments from Parks Canada, where he worked as Head, Restoration Services Landscape Section. Before Commonwealth's formation, Stewart served for four years as the first director of Heritage Canada's Main Street Program.

Stewart is a founding member of the Canadian Association of Heritage Professionals. He has served as the Canadian representative of the Historic Landscapes and Gardens Committee of ICOMOS and the International Federation of Landscape Architects. Stewart is a panel member with the Ottawa Urban design Review Panel and a board member of Algonquin College Heritage Carpentry Program.

Commonwealth has completed a number of Cultural Heritage Impact Statements for the private and public sectors including the following:

185 Fifth Avenue, Mutchmor Public School Addition, Ottawa, Ontario.

2489 Bayview Avenue, CFC Canadian Film Institute, Toronto, Ontario.

1015 Bank Street, Lansdowne Park, Ottawa, Ontario.

Algoma District Wind Farm Proposal, Lake Superior Shoreline, Ontario.

1040 Somerset Street West, Ottawa, Ontario.

Laurier Friel Redevelopment Sandy Hill, Ottawa, Ontario.

Cumberland /Murray Streets, Lowertown West, Ottawa, Ontario.

1120 Mill Street, Manotick, Ottawa, Ontario.

Ontario Place, Waterfront Park and Trail Toronto, Ontario.

Fort William Historical Park, Thunder Bay, Ontario.

Allen/Capitol Theatre 223 Princess Street, Kingston, Ontario.

101-109 Princess Street and 206-208 wellington Street Kingston, Ontario.

Greystone Village, Oblate Lands Redevelopment, 175 Main Street Ottawa, Ontario.

Bradley/Craig Barn 590 Hazeldean Road, Ottawa, Ontario.

LeBreton Flats, IllumiNATION LeBreton Redevelopment, Ottawa Ontario.

Appendix A: Structural Condition Letter – Kollaard Associates Engineers



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P.O. Box 189
Kemptville, Ontario K0G 1J0

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Materials Testing •
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Kollaard File # 180186-S1 Page 1

June 26, 2019

Falsetto Homes Inc.
52 Sullivan Avenue
Ottawa, Ontario K2G 1V2

Attn. Sam Falsetto

Re: Structural condition of multi-unit dwelling at 58 Florence Street, City of Ottawa, Ontario

Kollaard Associates was retained by Falsetto Homes to conduct a site visit on June 13, 2019 and to determine the feasibility of repairing the existing dwelling at 58 Florence Street in Ottawa, Ontario. It was our understanding that during the construction of the adjacent building to the west (429 Kent Street), there was a shoring failure along the shared property line, causing the foundation of 58 Florence to settle and shift to the west. It is also our understanding that the property is a designated Grade 2 building under Part V of the Ontario Heritage Act.

The existing building consists of a two-storey structure at the front of the lot with a limestone foundation supporting balloon wood framing and clay brick veneer. There is an addition at the rear with a concrete foundation and siding exterior.

Foundation

The building has an obvious cant to the right (west) indicating that the building has settled differentially by several centimetres. Large cracks in the foundation, both vertical and horizontal, are evident along all faces of the foundation, indicating both differential settlement and a lateral shift of portions of the foundation toward the west property line. It is our opinion that the foundation would need to be replaced to reinstate the structural integrity of the dwelling.

As stated in the *Geotechnical Investigation* report dated June 5, 2019 (written in consideration of a proposed new structure on the site),

...the soils below the west half of the proposed residential building have been disturbed by the failure of the shoring on the adjacent property known as 429 Kent. It is considered that these soils are not sufficient to support the proposed building. Based on the currently available information, it is expected that the disturbed soils will extend to at least 7.5 metres below the existing ground surface. Due to the expected depth at which undisturbed native soils will be encountered it is recommended that a foundation system consisting of helical piles be used. It is recommended that the proposed residential building be founded on a helical piles foundation bearing in the undisturbed silty clay or glacial till in combination with cast in place concrete pile caps and/or footings and foundation walls.

It is our opinion that in order to replace the existing foundation, it would necessary to lift the structure and install a new concrete foundation bearing on a grid of piles, as the soil is disturbed at the founding elevation.



Professional Engineers
Ontario

Authorized by the Association of Professional Engineers
of Ontario to offer professional engineering services.



Wood Framing and Interior

Following construction of the new foundation, the floors and walls would need to be re-levelled. This would include the repair or replacement of building components including but not limited to: plaster/drywall wall finishes, flooring material, mouldings, doors and windows, etc., where the initial settlement and re-levelling process has cracked and damaged the original building components.

Brick Veneer

The brick veneer along the west wall has fallen off (or was removed for safety reasons) as a result of the settlement of the dwelling. The remainder of the veneer was damaged as the house canted to the west, with vertical cracks opened as much as 2.5cm.

It is our opinion that it would be necessary to remove all of the brick veneer prior to lifting the building, and reinstating the veneer following levelling of the wood structure.

Conclusion

In order to reinstate the structural integrity of the dwelling at 58 Florence Street, the necessary repairs or reconstruction involve virtually every component of the building, as described above. It is the opinion of Kollaard Associates that repairing the existing structure is not reasonably feasible and that very little of the original building could be retained.

The results of this structural conditions letter should in no way be construed as a warranty that the subject building is free from any and all structural concerns other than those noted in this letter. This letter was prepared for the exclusive use of Falsetto Homes Inc. and the City of Ottawa and is based on observations made by Kollaard Associates Inc. This letter may not be relied upon by any other person or entity without the express written consent of Kollaard Associates Inc.

The conclusions provided herein represent the best judgement of Kollaard Associates Inc. based on current engineering practices. Due to the nature of the investigation and the limited data available, we cannot warrant against undiscovered structural deficiencies. If new information is discovered during future work or other studies, Kollaard Associates Inc. should be requested to re-evaluate the conclusions presented in this report and provide amendments as required.

We trust that this report is sufficient for your present requirements. If you have any questions concerning this report, please do not hesitate to contact our office.

Yours truly,
KOLLAARD ASSOCIATES INC.



William Kollaard, P. Eng.

Appendix B: Heritage Survey and Evaluation Form 58 Florence Street

CITY OF OTTAWA
DEPARTMENT OF PLANNING & DEVELOPMENT
COMMUNITY PLANNING BRANCH

HERITAGE SURVEY
AND
EVALUATION FORM

BUILDING FILE NO.
HERITAGE DISTRICT FILE NO.
OHR 4035/0200

Municipal Address: 58 Florence St.

Building Name:

Legal Description:

Date of Construction: 1879-1901

Original Use: Single Residential

Present Use: Multiple Residential (O.C.D. 1993)

Argentina

Present Zoning: R 5-X (2.0) *24*

Planning Area: Centretown

Lot: Lot 8 and E12.5* Lot 9 Florence S Block: 381 (F.I.P.)

Plan: 21812

Additions:

Original Owner:

Present Owner: Carmen Scaffidi and Sheila

PHASE ONE SURVEY

Potential Significance	Considerable	Some	Limited	None
History	(Pre- 1870 - 1915)	(1915 to 1940)	(1940 to 1965)	(1965 to present)
(Date of Construction)	3	2	1	0
Architecture	3	2	1	0
Environment	3	2	1	0
(Landmark or Design compatibility)				

Phase One Survey Score

/9

Prepared By:

Potential Heritage Building

Yes/No

Potential Heritage District

Yes/No

PHASE TWO EVALUATION RESULTS
(Summarized from Page 4)

Category 1 2 3 4

Part V Definite Yes/No

Part IV Potential Yes/No

If PART IV, By-law/Date:

If PART V:

HERITAGE DISTRICT NAME:
Centretown

BY-LAW/DATE:

COMMENTS:



58 FLORENCE

PHOTO DATE: May 1985

VIEW: N

SOURCE: E. Deever

NEGATIVE NUMBER: FB-15

HISTORY

PREPARED BY: M. Carter

DATE: Fall 1995

Date of Construction:

Factual/Estimated

Sources:

Trends:

Events:

Persons/Institutions:

Summary/Comments On Historical Significance:

Historical Sources (Coded):

ARCHITECTURE

PREPARED BY: J. Smith

DATE: Fall 1995

Architectural Design (Plan, Storeys, Roof, Windows, Materials, Details, Etc.): 2 1/2 storey hip-roofed residence. Brick veneer, simple wood trim and porch

Architectural Style: Vernacular Edwardian

Designer/Builder/Architect:

Architectural Integrity (Alterations): Very good, porch replaced

Other (Structure, Interior, Building Type, Etc.):

Summary/Comments On Architectural Significance: good example of turn of the century residential design

ENVIRONMENT

PREPARED BY: J. Smith

DATE: Fall 1995

Planning Area: Centretown

Heritage Conservation District Name: Centretown

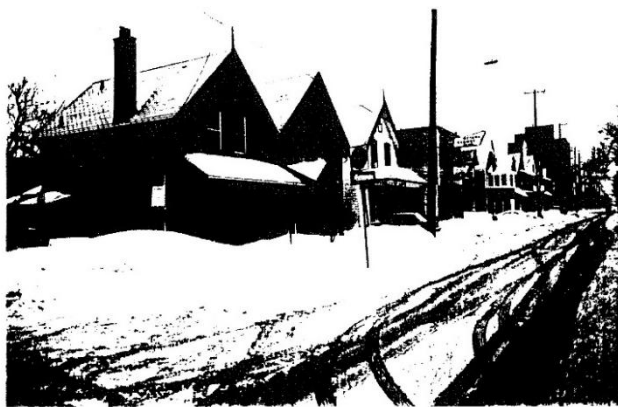


PHOTO DATE: Winter 1995

VIEW:

SOURCE: K. Deevey

NEGATIVE NUMBER:

Compatibility With Heritage Environs: Compatible with heritage residential/commercial environment

Community Context/Landmark Status:

Summary/Comments On Environmental Significance: helps establish heritage residential/commercial character