

6. ZONING BY-LAW AMENDMENT – 2583 AND 2599 CARLING AVENUE
MODIFICATION AU RÈGLEMENT DE ZONAGE – 2583 ET 2599, AVENUE
CARLING

COMMITTEE RECOMMENDATION

That Council approve an amendment to Zoning By-law 2008-250 by adding a site specific exception to the Arterial Mainstreet, Subzone 10 zone for 2583 and 2599 Carling Avenue to permit a warehouse use, limited to self-storage, and permit a mixed use building as shown in Document 3 and detailed in Document 4.

RECOMMANDATION DU COMITÉ

Que le Comité Conseil approuve une modification au Règlement de zonage 2008-250 consistant à ajouter une exception propre à l'emplacement à la désignation d'artère principale, sous-zone 10, relativement aux 2583 et 2599, avenue Carling, afin de permettre un entrepôt (entreposage en libre-service seulement) ainsi qu'un bâtiment polyvalent, comme l'illustre le document 3 et le précise le document 4.

DOCUMENTATION / DOCUMENTATION



1. Revised Document 6 – Overview Data Sheet (25 April 2017)
Document 6 révisé - Fiche récapitulative (le 25 avril 2017)
2. Acting Director's report, Planning Services, Planning, Infrastructure and Economic Development Department dated 4 April 2017 (ACS2017-PIE-PS-0045)
Rapport de la Directrice par intérim, Service de la planification, Services

de la planification, de l'infrastructure et du développement économique daté le 4 avril 2017 (ACS2017-PIE-PS-0045)

3. Extract of draft Minutes, Planning Committee, 25 April 2017

Extrait de l'ébauche du procès-verbal, Comité de l'urbanisme, le 25 avril 2017

Revised Document 6 – Overview Data Sheet (April 25, 2017)

		<h2>Overview Data Sheet</h2>			
<p>Address: 2583 and 2599 Carling Avenue</p>		<h3>Departmental Recommendation</h3>			
<p>Ward Number: 7 – Bay</p>		<input checked="" type="checkbox"/> Approval to amend Zoning By-law <input type="checkbox"/> Refusal to amend Zoning By-law			
<p>Application Number: D02-02-16-0072</p>		<h3>Planner Contact Information</h3>			
<p>Application Date: September 1, 2016</p>		<p>Planner Name: Mary Dickinson Telephone: 613-580-2424, 13923 E-mail: mary.dickinson@ottawa.ca</p>			
<h3>Applicant's Proposal</h3>					
<p>To add warehouse (limited to self storage) as a permitted use and request relief from some of the AM10 development standards.</p>					
<h3>Applicant(s) Name(s)</h3>					
<p>Applicant/Agent</p>		<p>Architect</p>		<p>Owner</p>	
<p>Miguel Tremblay, Fotenn Consultants Inc.</p>		<p>Tact Architects</p>		<p>Dymon Capital Corporation</p>	
<h3>Zoning Details</h3>					
<p>Current Zoning</p>			<p>Proposed Zoning</p>		
<p>AM10</p>			<p>AM10 [XXXX]</p>		
<h3>Applicable Planning Policies, Guidelines and Current Heritage Status</h3>					
<p>Arterial Mainstreet Designation - Official Plan Section 3.6.3 Arterial Mainstreet Design Guidelines</p>					
<h3>Site and Development Statistics</h3>					
				Permitted/Required	Proposed
Lot area (m ²)	4,486	Maximum building height	30 m	24.2 m	
Lot coverage in %		Residential parking	n/a	n/a	
Gross Floor Area (m ²)	12,275	Commercial parking	0	36	
Floor Space Index	2.7	Visitor parking	n/a	n/a	
Number of commercial units	2	Bicycle parking	10	10	

Please see reverse side for definition of terms used in this document.



Lexicon

**PLANNING AND GROWTH
URBANISME MANAGEMENT
ET GESTION DE LA CROISSANCE**

Address:

The address of the property.

Report recommendation:

The report prepared by staff recommended to either approve or refuse to amend the Zoning By-law.

Ward number:

The lot in question is located in one of the 23 municipal wards that comprise Ottawa.

Application date:

The date on which the application was received by the City of Ottawa.

Planner contact information:

The contact information of the planner who prepared this overview data sheet and staff report.

Development concept:

A brief description of the development according to the applicant.

Current zoning:

The current zoning details for the property.

Proposed zoning:

The zoning details for the property.

Lot area (m²):

The lot area is the two dimensional area contained within the perimeter of the lot.

Lot coverage in %:

The portion of the lot that is covered by any part of any building or structure on or above the surface of the lot. It is calculated by taking the total area of the building's footprint, dividing it by the total lot area and multiplying it by 100%.

Gross Floor Area (m²):

The total area of each floor whether located above, at or below grade, measured from the interiors of outside walls and including floor area occupied by interior walls and floor area created by bay windows with a few exceptions (see section 54 of the City of Ottawa's Zoning By-law).

Floor Space Index:

The Floor Space Index (FSI) is the ratio of the total floor area of buildings on a certain location to the size of the land at that location.

Maximum building height:

The maximum building height in metres or storeys of the lot in question either permitted by the existing zoning envelope or being proposed by the applicant.

Number of dwelling/commercial units:

The number of residential units and commercial units in the proposed development concept.



**Report to
Rapport au:**

**Planning Committee / Comité de l'urbanisme
April 25, 2017 / 25 avril 2017**

**and Council / et au Conseil
May 10, 2017 / 10 mai 2017**

**Submitted on April 4, 2017
Soumis le 4 avril 2017**

**Submitted by
Soumis par:**

Lee Ann Snedden,

Acting Director / Directrice par intérim,

Planning Services / Service de la planification

**Planning, Infrastructure and Economic Development Department / Direction
générale de la planification, de l'infrastructure et du développement économique**

Contact Person / Personne ressource

**Mary Dickinson, Planner / Urbaniste, Development Review West / Examen des
demandes d'aménagement ouest**

(613) 580-2424, 13923, Mary.Dickinson@ottawa.ca

Ward: BAY (7) / BAIE (7)

File Number: ACS2017-PIE-PS-0045

SUBJECT: Zoning By-law Amendment – 2583 and 2599 Carling Avenue

**OBJET: Modification au Règlement de zonage – 2583 et 2599, avenue
Carling**

REPORT RECOMMENDATIONS

- 1. That Planning Committee recommend Council approve an amendment to Zoning By-law 2008-250 by adding a site specific exception to the Arterial**

Mainstreet, Subzone 10 zone for 2583 and 2599 Carling Avenue to permit a warehouse use, limited to self-storage, and permit a mixed use building as shown in Document 3 and detailed in Document 4.

- 2. That Planning Committee approve the Consultation Details Section of this report be included as part of the 'brief explanation' in the Summary of Written and Oral Public Submissions, to be prepared by the City Clerk and Solicitor's Office and submitted to Council in the report titled, "Summary of Oral and Written Public Submissions for Items Subject to Bill 73 'Explanation Requirements' at the City Council Meeting of 10 May 2017" subject to submissions received between the publication of this report and the time of Council's decision.**

RECOMMANDATIONS DU RAPPORT

- 1. Que le Comité de l'urbanisme recommande au Conseil d'approuver une modification au Règlement de zonage 2008-250 consistant à ajouter une exception propre à l'emplacement à la désignation d'artère principale, sous-zone 10, relativement aux 2583 et 2599, avenue Carling, afin de permettre un entrepôt (entreposage en libre-service seulement) ainsi qu'un bâtiment polyvalent, comme l'illustre le document 3 et le précise le document 4.**
- 2. Que le Comité de l'urbanisme donne son approbation à ce que la section du présent rapport consacrée aux détails de la consultation soit incluse en tant que « brève explication » dans le résumé des observations écrites et orales du public, qui sera rédigé par le Bureau du greffier municipal et de l'avocat général et soumis au Conseil dans le rapport intitulé « Résumé des observations orales et écrites du public sur les questions assujetties aux 'exigences d'explication' aux termes du projet de loi 73 », à la réunion du Conseil municipal prévue le 10 mai 2017, à la condition que les observations aient été reçues entre le moment de la publication du présent rapport et le moment de la décision du Conseil.**

BACKGROUND

Learn more about [link to Development Application process - Zoning Amendment](#)

For all the supporting documents related to this application visit the [link to Development Application Search Tool](#).

Site location

2583 and 2599 Carling Avenue

Owner

Dymon Capital Corporation

Applicant

Miguel Tremblay, Fotenn Consultants Inc.

Architect

Tact Architects

Description of site and surroundings

The property is comprised of two adjacent parcels which are municipally known as 2583 and 2599 Carling Avenue. The site is located in the neighbourhood of Britannia Village, east of Richmond Road, and is bound by Carling Avenue to the south, Forest Street to the west and Bond Street to the north.

The property forms a rectangular development site with a total area of approximately 4,486 square metres. The through lots have approximately 91.68 metres of frontage along Carling Avenue, 53.88 metres of frontage along Forest Street and 82.81 metres of frontage along Bond Street, as shown in Document 1.

The surrounding uses include an eight storey apartment building to the west, low intensity residential homes to the south beyond Carling Avenue, automobile repair and car storage to the north beyond Bond Street, and a vacant lot and commercial property to the east.

Summary of requested Zoning By-law amendment proposal

The applicant is proposing to add warehouse, limited to self storage, as a permitted use to the current Arterial Mainstreet, Subzone 10 (AM10) zoning and amend some of the applicable development standards as follows:

- Permit a corner side yard setback along the entire Forest Street frontage to be 15.48 metres where currently the maximum setback is 3 metres for a minimum of 50 per cent of the frontage;
- Permit the construction of a parking lot with no landscape buffer abutting Forest Street and Bond Street where currently the minimum buffer is 3 metres;
- Permit the warehouse use without the requirement for providing any oversized vehicle loading spaces, where currently two oversized spaces are required;
- Permit a minimum of one regular sized vehicle loading spaces where two are currently required; and
- Permit a minimum aisle width accessing a loading space of 4.6 metres where currently a minimum of 5 metres is required.

The Zoning By-law amendment will accommodate a five storey mixed use building which includes approximately 11,180 square metres of self-storage space on the second through fifth floors, and on the ground floor, 882 square metres of commercial retail space, 210 square metres of retail space associated with the warehousing component and 474 square metres for interior loading. A total of 36 surface parking spaces are proposed, with 10 of those spaces allocated for the self-storage use, and 26 spaces allocated for the ground floor commercial retail use.

DISCUSSION

Public consultation

Notification for this file was carried out in accordance with statutory requirements and City policies. No supplementary public information session was held for this application.

Five area residents responded to the joint site plan and zoning circulation for the subject site. See Document 5 for consultation details.

Official Plan designation

The property is designated Arterial Mainstreet in the Official Plan. The Official Plan encourages intensification along Mainstreets through the implementation of more compact forms of development, encouragement for a lively mix of uses and promotion of a pedestrian-friendly environment. These Mainstreet corridors are strategically located on the current or future Rapid Transit and Transit Priority Network. Development is intended to occur on Arterial Mainstreets in a way that facilitates the gradual transition to a more urban pattern of land use. This means that, over time, more residential uses will be introduced, where appropriate, and these corridors are expected to see a gradual transition to more intensive forms of development. A mix of uses, including commercial, residential and institutional uses, are encouraged to be co-located either within buildings or on the same lot. Over time, parking lots between the building and the street could be redeveloped and built upon, and the pedestrian environment will be improved. A building format that encloses and defines the street edge and provides direct pedestrian access to the sidewalk is encouraged. To facilitate this evolution, the Zoning By-law may define the portion of the street frontage of an Arterial Mainstreet to be occupied by buildings located at or set back minimally from the sidewalk.

To implement these policies the Arterial Mainstreet, Subzone 10 (AM10) was introduced through Zoning By-law 2015-45 which sets out development standards that promotes the Arterial Mainstreet goals noted above, including defining the street edge and improving the pedestrian environment. Only certain portions of the overall Arterial Mainstreet network have been redesignated as AM10, these areas selected based on their key locations and function within the City. The subject site is designated AM10 and as such, the proposed development must adequately uphold the goals of the Arterial Mainstreet designation within the Official Plan.

Other applicable policies and guidelines

The Urban Design Guidelines for Development along Arterial Mainstreets applies to this site, and include the following objectives:

- To foster compatible development that will contribute to the recognized or planned character of the streets;

- To promote a comfortable pedestrian environment and create attractive streetscapes;
- To achieve high-quality built form and establish a strong street edge along Arterial Mainstreets;
- To facilitate a gradual transition to more intensive forms of development on Arterial Mainstreets;
- To accommodate a broad range of uses including retail, services, commercial, office, institutional and higher density residential; and
- To enhance connections that link development sites to public transit, roads and pedestrian walkways.

Urban Design Review Panel

The property is within a Design Priority Area and as such, the Zoning By-law amendment and Site Plan Control applications are subject to the Urban Design Review Panel (UDRP) process. The applicant presented their proposal to the UDRP at an informal pre-consultation meeting on July 7, 2016, which was not open to the public.

As detailed in Document 2, the Urban Design Review Panel acknowledged the challenges of balancing the functionality of the use on this site with making sure the site and building design appropriately and adequately address the public realm.

The Panel suggested changes to the site layout that would see the building located at the corner of Carling Avenue and Forest Street in order to better engage both frontages as opposed to focusing mainly on Carling Avenue. The Panel also suggested changes to the building itself to further animate the façade, upgrade the materials and design, and help the building to read more like a mixed-use office building rather than a self-storage use. The proponent has made efforts to address the UDRP comments relating to building design and materiality as shown in Document 2, but have not relocated the building to the corner of Carling Avenue and Forest Street, as suggested by the panel, citing operational constraints and leasing challenges associated with the alternative design.

Planning rationale

This application has been reviewed under the consolidated Official Plan (2003) with regard for the Council approved amendments contained within OPA 150.

Warehouse use

Although self-storage uses have not historically been located within the City's higher profile nodes and corridors, staff are satisfied that, when configured and designed appropriately, and paired with other more active uses on the ground floor, this use can be compatible within the Arterial Mainstreet context.

Although being low density by nature, considering that the minimum density requirements under Figure 2.3 of the Official Plan are yet to be implemented in the Zoning By-law, recommending the self-storage use is justified when mixed with other permitted uses that are in keeping with the intent of the Arterial Mainstreet designation. Beyond the provision of storage lockers, the proposed self-storage facility includes meeting space, boardrooms, office space, safety deposit boxes, parcel pick-up, mailbox services, document storage, shredding, and accessory retail services. Through the recommended amendment, ancillary office and retail uses are required as part of the self-storage use. These additional business functions along with the proposed separate retail space located on the ground floor of this building represent a notable mix of uses on the subject site.

50 per cent frontage requirement

The AM10 development provisions require a minimum of 50 per cent of the building face be within 3 metres of the Arterial Mainstreet frontage and, in the instance of corner lots, this same setback applies along the corner side lot line. The proposed building adequately addresses Carling Avenue, and the proponent has made design changes in response to UDRP comments by locating the entrance to the self-storage retail area directly from the Carling Avenue frontage. In response to UDRP comments and in an effort to uphold the AM10 development standards as best as possible through this development, there was much discussion about whether the parking lot along Forest Street could be relocated elsewhere on site to allow the building to address the Forest Street and Carling Avenue corner. The applicant indicated that although Arterial Mainstreets are undergoing a gradual transition towards multi-modal transportation and

street front activation, the car is still a heavily used mode of transportation at this time, and in order for the retail space to be viable and leasable, the proponent has indicated that convenient on-site parking near the retail entrance is critical to the success of the development. Having no street parking on Carling Avenue exacerbates the need for convenient on-site parking, which in this case has resulted in locating the parking lot along the Forest Street frontage.

Carling Avenue is the designated Arterial Mainstreet and this frontage has been adequately addressed by meeting the minimum 50 per cent building frontage requirement, as well as incorporating significant clear glazing and active entrances directly from Carling Avenue. Landscaping and perhaps an archway feature will be used to screen the parking area from the public realm. It should also be noted that the subject property is not required to provide any off-street parking spaces and therefore, as the area continues to transition, the existing parking area may represent an opportunity for further development on the site. Overall, the subject development is designed in such a way that it adequately meets the goals of the Arterial Mainstreet designation in the Official Plan, which emphasize a gradual transition to higher intensities, and transition of Arterial Mainstreets to being more pedestrian friendly. Since the Carling Avenue frontage is meeting the development standards for the AM10 zone, staff are supportive of providing relief from the maximum setbacks along Forest Avenue.

Landscape buffer

The full 3 metre landscape buffer is being provided along Carling Avenue, which is viewed as the most advantageous location for a generous landscape buffer in order to provide adequate screening. Due to the shape of the lot, the landscape buffer along Forest Street is largest at Carling Avenue and reduces to nothing near the driveway, and then a reduced buffer is provided around the remainder of the lot at the rear. Appropriate plantings along the parking lot adjacent to Forest Street and Bond Street is still possible, with appropriate plant selections and by implementing landscaping partially within the boulevard in the right of way (subject to a Maintenance and Liability Agreement with the City).

Loading space

Staff have no concern with providing relief from the required loading spaces or the minor reduction to the minimum width of the aisle leading to the loading space. The

nature of the use is self storage and the interior loading area represents more than the required four loading spaces.

Transparent glazing and active entrance

Staff have no concern with a reduction from 50 per cent to 24 per cent of the transparent glazing facing Bond Street, and the absence of an active customer entrance doors along Bond Street, as active frontage is expected along Carling Avenue.

Staff recommendation

Staff are supportive of the proposed Warehouse use conditional upon the use being limited to self-storage, including ancillary retail and office functions and being mixed with a non-self-storage use that is already permitted in the AM10 zone. Staff are also satisfied that the proposed development adequately fulfills the Official Plan policies for Arterial Mainstreets, and therefore are supportive of the requested relief from the AM10 development provisions.

Provincial Policy Statement

Staff have reviewed this proposal and have determined that it is consistent with the Provincial Policy Statement, 2014 in that it meets the following applicable policies:

- Promotes cost-effective development standards to minimize land consumption and servicing costs (Policy 1.1.3.2.a);
- Promotes efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term (Policy 1.1.1.a);

RURAL IMPLICATIONS

There are no rural implications associated with this report.

COMMENTS BY THE WARD COUNCILLOR

Councillor Taylor provided the following comments:

"I thank the applicant and the planning department for working together to find an outcome that both meets the spirit of many of our policies, and, practically delivers a

much nicer building on this site that had been there previously. I am pleased to support this application detailed in the report as part of a renewed streetscape and service offering within our community.”

LEGAL IMPLICATIONS

There are no legal impediments to approving the recommendations contained in the report.

RISK MANAGEMENT IMPLICATIONS

There are no risk management implications association with the recommendation in this report.

FINANCIAL IMPLICATIONS

There are no financial implications associated with this report.

ACCESSIBILITY IMPACTS

No accessibility barriers are anticipated as commercial spaces and parking will be located at grade. Proper accessibility will be ensured through Site Plan Approval and Building Code review.

ENVIRONMENTAL IMPLICATIONS

Contaminants were identified on the subject site through the Environmental Assessment submitted with the Application. Site Plan Control Approval will be conditional upon submission of a Record of Site Condition.

TERM OF COUNCIL PRIORITIES

This project addresses the following Term of Council Priority:

EP3 – Support growth of local economy

APPLICATION PROCESS TIMELINE STATUS

This application was processed by the "On Time Decision Date" established for the processing of Zoning By-law amendment applications.

SUPPORTING DOCUMENTATION

Document 1 Location Map

Document 2 Urban Design Review Panel Comments

Document 3 Site Plan and Street Level Visualizations

Document 4 Details of recommended zoning

Document 5 Consultation Details

Document 6 Overview Data Sheet *(previously distributed and held on file)*

CONCLUSION

Staff are supportive of the proposed development and recommend approval of the requested amendments to the Zoning By-law. The proposed development represents a significant improvement over the previous development on the subject site that is consistent with the goals for development along Arterial Mainstreets.

DISPOSITION

Office of the City Clerk and Solicitor, Legislative Services to notify the owner; applicant; Krista O'Brien, Deputy City Treasurer Revenue Branch, Corporate Services (Mail Code: 26-76) of City Council's decision.

Zoning and Interpretations Unit, Planning Services to prepare the implementing by-law and forward to Legal Services.

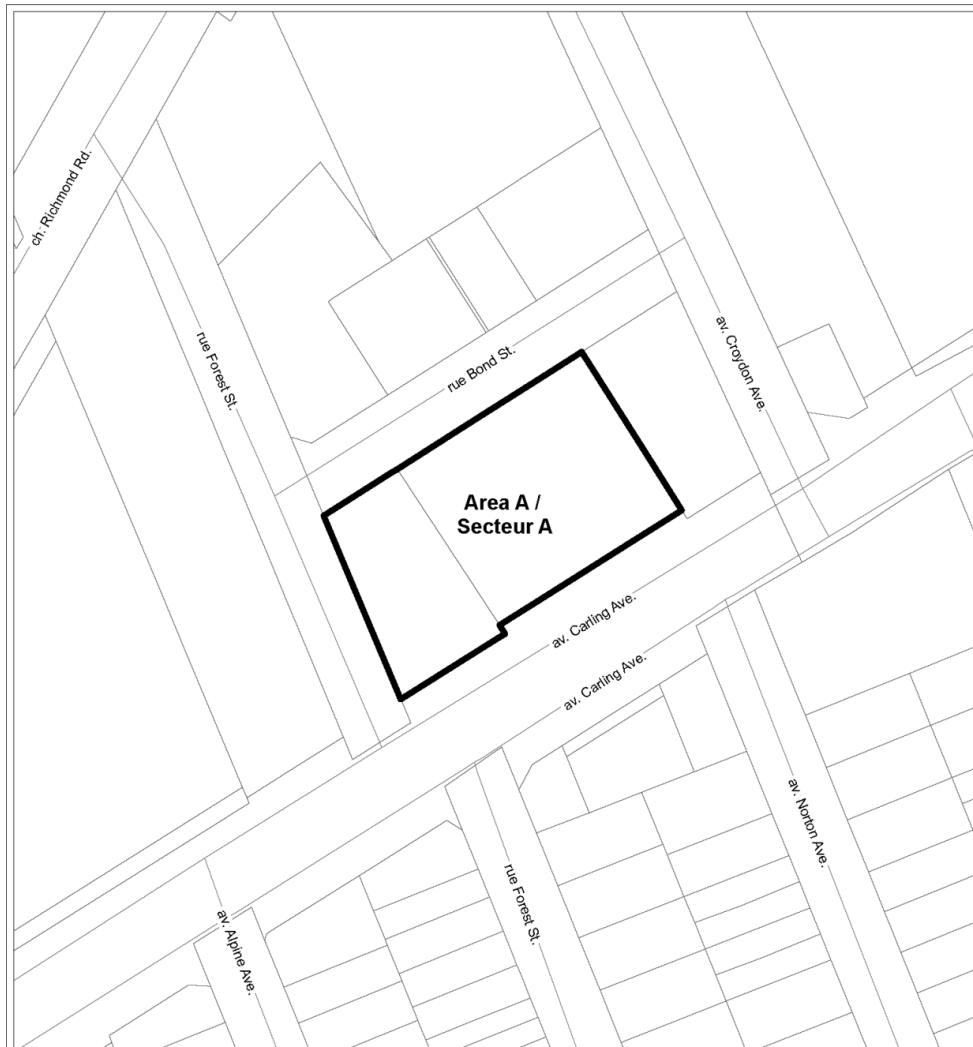
Legal Services to forward the implementing by-law to City Council.




Circulation Services Unit, Planning Services to undertake the statutory notification.

Document 1 – Location Map

For an interactive Zoning map of Ottawa visit geoOttawa

This map shows the location of the subject site which is bounded by Carling Avenue to the south, Forest Street to the west and Bond Street to the north.



		LOCATION MAP / PLAN DE LOCALISATION ZONING KEY PLAN / SCHÉMA DE ZONAGE	
D02-02-16-0072	17-0543-X		2583, 2599 avenue Carling Avenue
I:\CO\2017\Zoning\Carling_2583_2599			
<small>©Parcel data is owned by Teramet Enterprises Inc. and its suppliers All rights reserved. May not be produced without permission THIS IS NOT A PLAN OF SURVEY</small>		Area A to be rezoned from AM10 to AM10[xxxx] Le zonage du secteur A sera modifié de AM10 to AM10[xxxx]	
<small>©Les données de parcelles appartient à Teramet Enterprises Inc. et à ses fournisseurs. Tous droits réservés. Ne peut être reproduit sans autorisation. CECI N'EST PAS UN PLAN D'ARPENTAGE</small>		 <small>NOT TO SCALE</small>	
REVISION / RÉVISION - 2017 / 04 / 05			

Document 2 – Urban Design Review Panel Comments

General Comments

- The Panel appreciates the challenges that the desired program presents, but the priorities of the proposal should be to improve the relationship to public realm and emerging context, and the architectural response to the future context. The Panel feels that the project has a way to go to achieve this goal.

Context / Site Plan

- The Panel strongly recommends exploring an alternative configuration of the site to help set a precedent for future developments in the area. This project will set an important precedent for the evolution of the street.
- The scheme should aim to better engage Forest Street and to improve the situation on Carling Avenue through active frontages and architectural gestures.
- Explore the possibility of relocating the retail parking to a mid-block location at the east end of the site. This could be achieved by flipping the retail component and the drive-through and would create a more urban condition at the corner of Forest Street and permit the retail store entrance to face Carling Avenue.

Building Design

- In future presentations, the Panel requests to see a speculative massing of what development may occur on the property to the east. The blank wall on the east façade of the building is a concern, but may not be an issue depending on how the adjacent site redevelops.
- Consider integrating a perimeter corridor into the floorplan of the storage levels of the building. It would help to add some degree of animation to the building, improve interior lighting and make the building more comfortable and enjoyable from the perspective of the user.
- The Panel recommends continuing to explore opportunities to make the building read more as a mixed-use or office building rather than a storage building. The design of the building should strive to fit into the future context rather than the current context.

Materiality

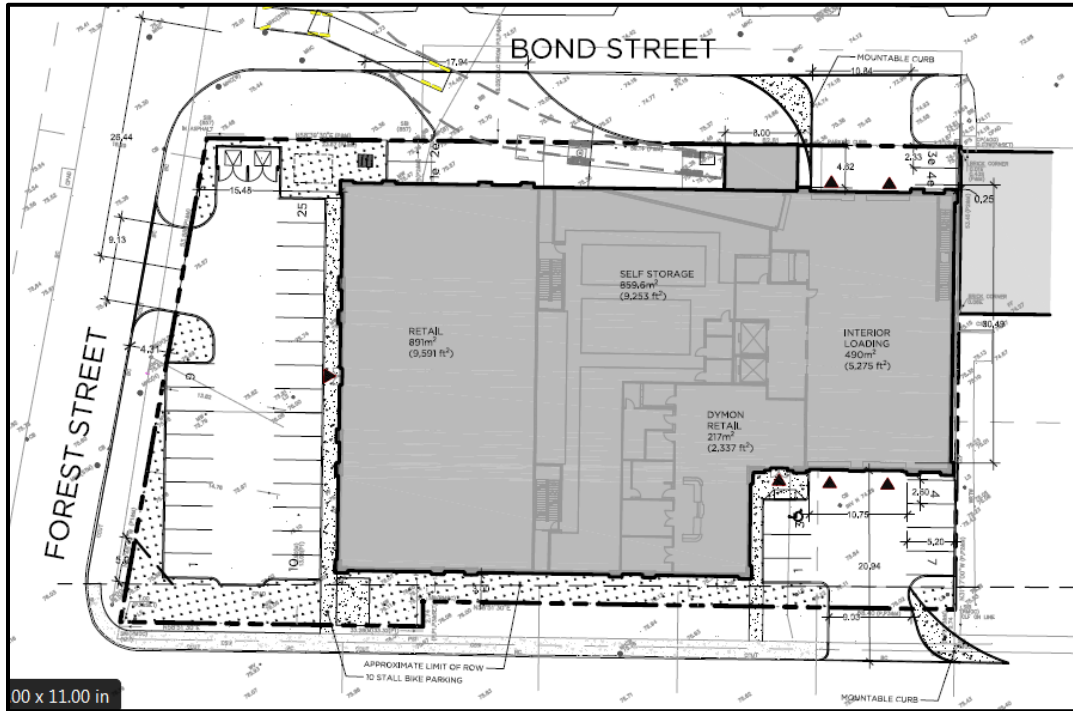
- Consider increasing the presence of stone in the façade at the street level. Perhaps the entire ground floor could be stone or it could wrap around the windows.
- The two-toned materiality of the building gives it a striped effect that works against it having the feel of a traditional building.
- Cement board is recommended as a more durable and sustainable alternative to stucco or exterior insulation and finish system (EIFS).

Sustainability Measures

- The Panel applauds the proponent's efforts to integrate solar panels onto the roof of the building.

Document 3 – Site Plan and Street Level Visualizations

Site Plan



Rendering of proposed development looking north from Carling Avenue



Rendering of proposed building looking east from Forest Street



Document 4 – Details of Recommended Zoning

The proposed change to the City of Ottawa Zoning By-law 2008-250 for 2583 and 2599 Carling Avenue:

1. To rezone the lands shown in Document 1 from AM10 to AM10[XXXX]
2. Create a new exception, AM10[XXXX], with provisions similar in effect to the following:
 - warehouse, limited to self-storage is permitted subject to:
 - a. the use including ancillary retail store, and ancillary office, and
 - b. a minimum of 750 square metres of floor space used for uses listed in 185(1) within the same building.

despite Section 186 (10)(b)(i) no maximum corner side yard setback applies;

no oversized vehicle loading space is required;

only one vehicle loading space is required;

minimum width for the aisle accessing the required vehicle loading space:

4.6 metres;

Despite table 110 no landscape buffer is required along Forest Street or Bond Street.

Document 5 – Consultation Details

Notification and Consultation Process

Notification and public consultation was undertaken in accordance with the Public Notification and Public Consultation Policy approved by City Council for Zoning By-law amendments.

Five respondents commented on the application, as summarized below:

Comment:

The concern was raised that the proposed development will increase traffic flow in the area and on Forest Street.

Response:

A Transportation Overview letter was submitted by the applicant which provides an analysis of the proposed use and the anticipated trip generation, parking supply and site access. The overview indicates that the proposed development will not generate a significant amount of traffic and as such will not have an adverse impact on the traffic within the neighbourhood.

Comment:

A concern was raised that the proposed development will lead to increased noise in the immediate vicinity of the site.

Response:

The self-storage use is not anticipated to create notable nuisance for the neighbourhood, such as noise.

Comment:

A concern was raised relating to the overall height of the proposed building and the design of the building. Concern that adding a use that is typically categorized as 'industrial' will not be compatible within the current mixed-use and residential context.

Response:

The proposed 5 storey building is within the currently permitted height limit within the AM10 zone. Although typically categorized as an industrial use, the self storage use has been evaluated and deemed to be compatible within a mixed-use context, since the typical negative by-products of many industrial uses, such as noise and dust, are not a concern in this case. The amount of traffic to and from the self storage use is also expected to be quite low. The proponent is working with staff to continue to work through the building design and materiality to ensure the final design is aesthetically appealing and appropriate within the arterial mainstreet context.

Comment:

The question was asked as to whether the proposed development will have an impact on the existing property taxes in the surrounding neighbourhood.

Response:

Staff have no information available that either confirms or denies that area property taxes will be impacted by a new development within the neighbourhood.

Comment:

Support was provided for the proposal citing that more activity and improvements to the lighting in the area will have a positive impact on the neighbourhood.

Response:

This comment has been noted.

Comment:

The comment was made that the large mature trees at the north-east of the site should be preserved.

Response:

Plans for tree conservation and removal will be reviewed through the site plan control process. Where removal is required to accommodate new development, an appropriate number of replacement trees will be planted.