

Cultural Heritage Impact Statement

231 Cobourg Street, Ottawa



Proposed Redevelopment - Uganda High Commission 231 Cobourg Street, Ottawa, Ontario. K1N 8J2

Consultation Package:
Ward 12 Councillor - **Mathieu Fleury**
Community Association, Action Sandy Hill, President - **Chad Rollins**
April 2017.



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TEN 2 FOUR ARCHITECTURE INC.

Report Prepared for: **Ten 2 Four Architecture Inc.**

RMA Project No.: **16086**

Date: **June 6, 2017**

Report Prepared by:



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A. Introduction

Robertson Martin Architects (The Consultant) was retained in November 2016 by Ten 2 Four Architecture Inc. (the Client) to provide a *Cultural Heritage Impact Assessment* (CHIS) for a proposed development at 231 Cobourg Street, Ottawa (*the Site*).

Section 4.6.1 of the City of Ottawa *Official Plan* has policies that outline when a CHIS is required, and which will evaluate the impact of a proposed development on cultural heritage resources when development is proposed that has the potential to:

- Adversely impact the cultural heritage value of properties designated under *Part IV* of the Ontario Heritage Act (OHA); and
- **Adversely impact the cultural heritage value of districts designated under *Part V* of the OHA.**

In addition:

- **A CHIS may also be required for development applications adjacent to or within 35 meters of designated buildings and areas; and**
- **A CHIS is required when demolition is proposed.**

The Uganda High Commission Church building located at 231 Cobourg Street is located within the northeast corner of the *Wilbrod Laurier Conservation District Part V* of the OHA. It is the impact of the development proposal within the district that has the potential to adversely impact a heritage resource - and is the basis for the requirement of this CHIS.

The Consultant has been provided with copies of the development proposal plans prepared by Ten 2 Four Architecture Inc., dated March 22, 2017. This CHIS has been written with the understanding that the actual development proposal consists of the design as outlined in the drawings provided in *Annex A*.

B. General Information

Existing Zoning

The client proposes the demolition of the existing (converted residential) office chancery building and the construction of a new purpose-designed small chancery building, on the footprint of the existing building. The City of Ottawa Comprehensive Zoning By-law (2008-250) designates the area of the subject property as **R4M[481]** (*Residential Fourth Density, Subzone M*). The *Exception 481* of the Zoning By-law permits an office limited to a diplomatic mission

subject to that office being restricted to a dwelling converted for that use. The demolition and reconstruction of this office would not meet the provision regarding conversion and will require relief from the by-law through a Minor Rezoning Amendment.

The zoning has setback and height restrictions to ensure compatibility with surrounding areas.

Heritage Designation

The Chancery building falls under *Part V* of the OHA because it is located within the *Wilbrod/Laurier Heritage Conservation District*. According to the City of Ottawa *Sandy Hill East Conservation District Building Evaluation Map*, the property is rated as a *Category 4*, although the *Sandy Hill Heritage Study* evaluates the property at 44/100 with *Category 3* Heritage Status. The interiors of the building of the building are excluded from the evaluation.

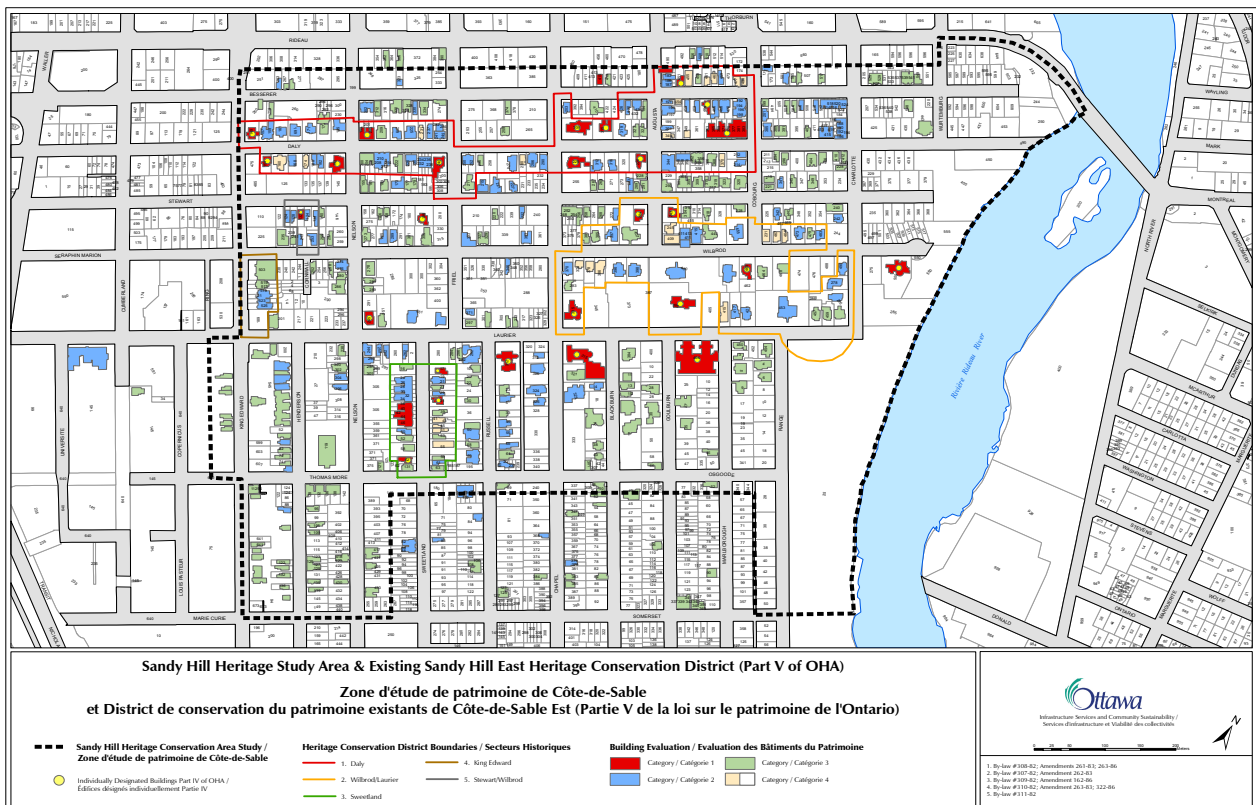


Figure 1: Sandy Hill Heritage Conservation District. (map courtesy of City of Ottawa)

C. Current Conditions/ Introduction to Development Site

The property is a purpose-built apartment building dating from around 1945 that has been converted to office institutional embassy use c. 1985, which is reflected in the zoning provisions. The neighborhood character is primarily residential, interspersed with many embassy properties, including Austria, France, Guinea, China, Bulgaria, Russian Federation and the Sudan, among others.

The south side of Wilbrod Street, in the vicinity of the subject property, may be characterized as rather disjointed 3- 4 storey urban fabric, with no consistency in lot sizes, widths, setbacks, or building styles. There is a mix of large converted residential embassy buildings and, most notably, an anomalous 10-storey apartment building to the south east.

The north side of Wilbrod Street, in the vicinity of the subject property, has more intact urban fabric, with better consistency in lot sizes, widths, setbacks and more consistent 3-4 storey massing and building styles. Again, there is a mix of large converted residential embassy buildings and larger heritage homes, converted to residential apartments.

Cobourg Street terminates at Wilbrod at the south and extends northwards to Rideau Street. The subject property is on a very short section of street; the narrow end of the block. It faces across the street at the side yard of 455 Wilbrod, which is screened with tall cedar hedges and to the northwest at 228 Wilbrod, a 1920s red brick residence. To its immediate north at 225 Wilbrod, there is a simple 1970s era residential home, with materiality and detailing out of character with the neighborhood.

The existing two storey flat roofed building sits tight to the western side of the flat site, leaving little space for grassed landscaping and low shrubbery. An entrance canopy extends over the property line. To the north is a paved parking area. Along Wilbrod, two mature street trees screen the building, whose setback matches the adjacent properties. The eastern side abutting the neighbor has a cedar hedge screen.

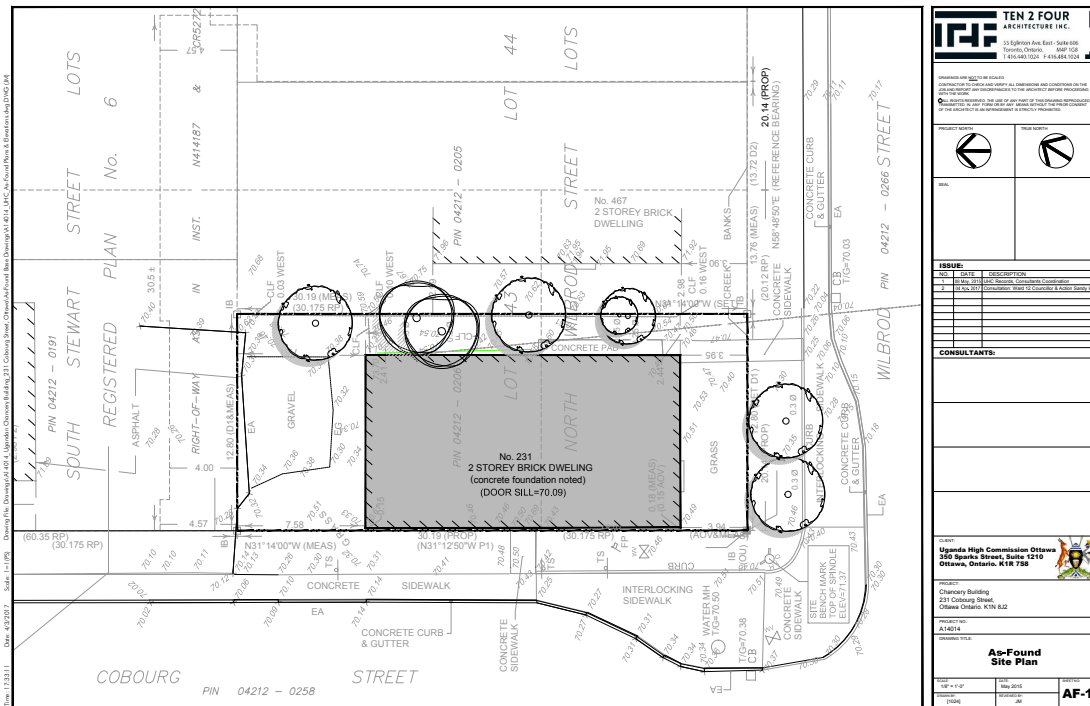


Figure 2: As Found Site Plan.

D. Background Research and Analysis

Research and Methodology

The methodology used in the preparation of this assessment includes review and reference to the following:

- Development drawings prepared by Ten 2 Four Architecture Inc., dated March 22, 2017;
- Visits to the site and surrounding areas;
- *Heritage Survey and Evaluation Form*, City of Ottawa, April, 2007;
- *Wilbrod/Laurier Heritage Conservation District Plan*, City of Ottawa, April, 2015;
- *The City of Ottawa Official Plan*;
- *Standards & Guidelines for the Conservation of Historic Places in Canada*, Parks Canada; and
- *A Guide to Preparing Cultural Heritage Impact Statements*, prepared by the City of Ottawa, Draft, March 2012.

Site Analysis and Evaluation

Sandy Hill is an important, primarily residential, neighborhood close to the downtown core of Ottawa. It is bordered by the Rideau River and the University of Ottawa on its east and west sides, by the Queensway to the south and Rideau Street to the north. The growth of the university and the resulting pressures on the adjacent stable mature neighborhoods, combined with the site's proximity to the downtown core of Ottawa, have attracted new development that, in some instances, is disruptive to the prevailing character.

Although the large portion of Sandy Hill community was studied for the *Conservation Study Area*, only certain portions were identified as *Heritage Conservation Districts* and, additionally, many *Category 2* and *3* plus some individually designated *Part IV* buildings fall outside these districts. The result is a rather patchwork effect of heritage protection. Currently, the City of Ottawa is undertaking a Phase II of the Sandy Hill Heritage Study, with additional areas under consideration for designation as *Heritage Conservation Districts*.

As indicated in the *Heritage Survey and Evaluation Form*, the existing building is assessed as 'modestly compatible with the block in which it sits', and somewhat out of character with the prevailing pitched roof structures along Wilbrod and Cobourg Streets. The two storey flat-roofed structure, constructed circa 1945, is not original to the District, itself having replaced an original smaller 2 ½ storey pitched roof structure dating to around 1912.

The red brick building style is fairly atypical, detailed in a symmetrical low-relief and Federal/Classical style. An entrance canopy has been clumsily added to the original classical entrance. Windows are simple 6-over-6 and 8-over-8 double-hung style framed with shallow decorative brick recesses and stone sills. Brick quoins and a corbelled parapet provide some relief in a mostly flat façade.

The Main Floor is elevated from the street approximately six risers; given the tight constraints of the Entry, the site and building configuration, providing barrier free access is highly problematic.

The existing building is in poor condition as indicated by a *Structural Assessment Report* and a *Designated Substance and Hazardous Materials Survey Report*. Geotechnical issues have resulted in differential settlement and cracking of the exterior masonry and mould throughout the building, arising from a breach in the building envelope, have been evaluated as significant and not practically correctable by the design team.

Existing Development Guidelines

The City of Ottawa has many policies governing development of, and in proximity to, heritage resources. These are described in *Section 4.6.1* of the official plan. The policies relevant to this proposal are listed below:

- 1.c.(The proposal must) Demonstrate that the proposal will not adversely impact the defined cultural heritage value or the heritage attributes of the property;
9. When reviewing applications for zoning amendments, site plan control approval, demolition control, minor variance, or the provision of utilities affecting lands/properties adjacent to or across the street from a designated heritage resource, adjacent to or across the street from the boundary of a heritage conservation district, or within heritage conservation district, the City will ensure that the proposal is compatible by: [Amendment 14, September 8, 2004] [Amendment #76, OMB File #PL100206, August 18, 2011]
 - a. Respecting the massing, profile and character adjacent to or across the street from heritage buildings; [Amendment #76, August 04, 2010]
 - b. Approximating the width of nearby heritage buildings when constructing new buildings facing the street;
 - c. Approximating the established setback pattern on the street;
 - d. Being physically oriented to the street in a similar fashion to existing heritage buildings;
 - e. Minimizing shadowing on adjacent heritage properties, particularly on landscaped open spaces and outdoor amenity areas;
 - f. Having minimal impact on the heritage qualities of the street as a public place in heritage areas;
 - g. Minimizing the loss of landscaped open space;
 - h. Ensuring that parking facilities (surface lots, residential garages, stand-alone parking and parking components as part of larger developments) are compatibly integrated into heritage areas;
 - i. Requiring local utility companies to place metering equipment, transformer boxes, power lines, conduit equipment boxes, and other utility equipment and devices in locations that do not detract from the visual character or architectural integrity of the heritage resource.

The *Wilbrod/Laurier Heritage Conservation District Plan* also outlines additional plan objectives:

- Identify and describe the cultural heritage value and heritage attributes of the HCD;

- Encourage the ongoing conservation and restoration of buildings of cultural heritage value in the HCD; and
- Provide a framework to manage change in the HCD in the future.

E. Statement of Significance

NOTE: The full list of heritage district attributes is available in *Appendix D- Wilbrod/Laurier Heritage Conservation District Plan*.

Design (architectural) value:

231 Cobourg Street is an example of the Federal Classical style. Abbreviated from the *Heritage Survey Form*, the design value of the building is assessed on the following characteristics:

- symmetrical formal compositions;
- smooth facades with medium sized window apertures;
- brickwork with string courses, corbels and decorative patterns;
- wood double hung windows (6x6 and 8x8);
- Octagonal window above entry;
- classical detailing at entryway pediment.

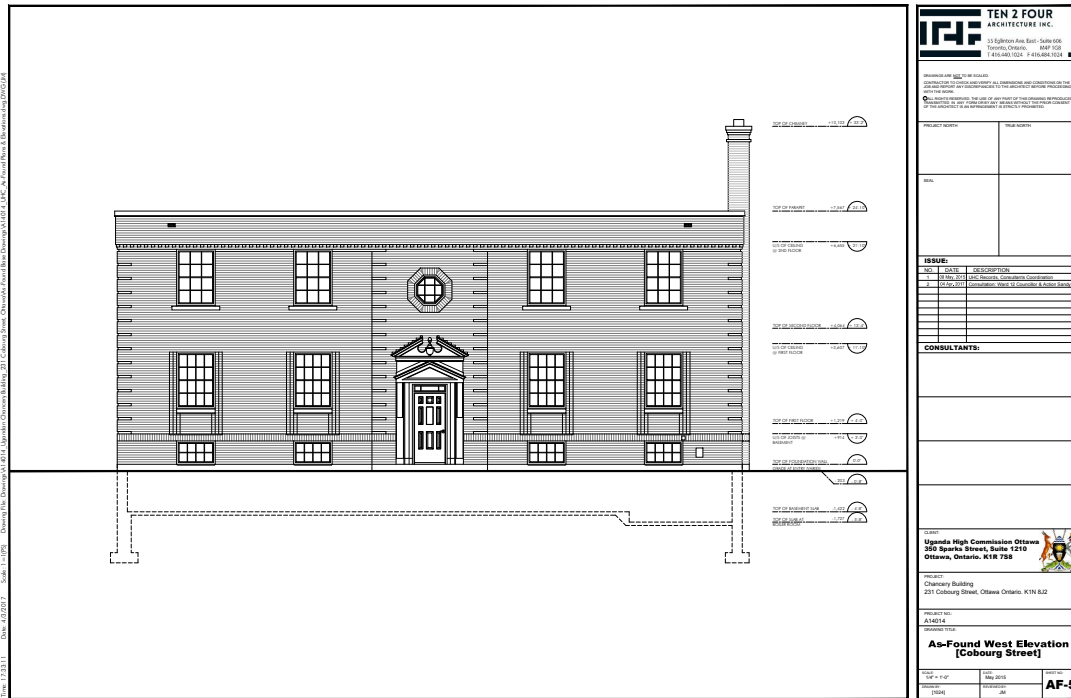


Figure 3: As Found West Elevation

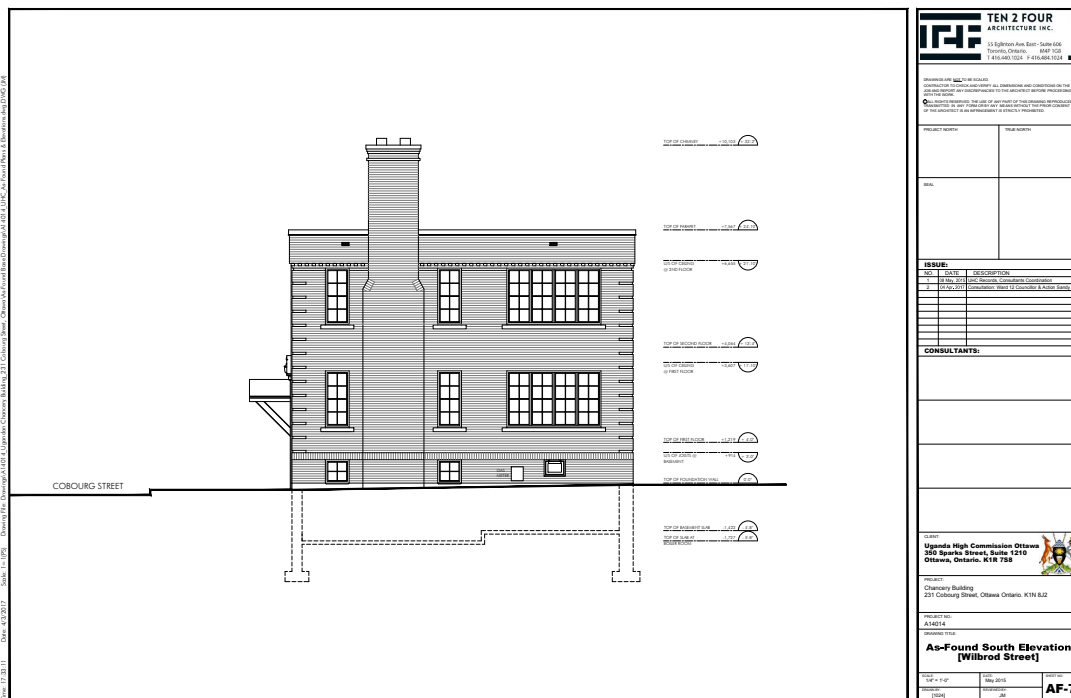


Figure 4: As Found South Elevation

Cultural & Historical value:

Abbreviated from the Conservation District Plan, the cultural & historical value of the property is based on the following characteristics:

- Its association with the development of Sandy Hill into a desirable residential neighbourhood;
- An excellent example of residential neighbourhood with key features including historic street pattern, consistent house to lot ratios, generous front yard setbacks and tree lined streets;
- Although not mentioned in the *City Heritage Survey Form*, correspondence received from the Community Association asserts that the building was owned by the wife of Lester B Pearson in 1954 and was home to the Pearsons from 1955-1958. Mr. Pearson won the Noble Prize in 1957. To date, the Consultant has not been able to corroborate this assertion. The Consultant had asked for more information from the Community Association, without response.

Heritage District Attributes:

Abbreviated from the Conservation District Plan, the relevant heritage attributes of the property and district are based on the following characteristics:

- An eclectic mix of architectural styles;
- Primarily residential character;
- Predominantly two to three storey building height;
- Consistent use of building materials including red and buff brick, limestone and wood;
- Large covered, open front porches and verandas;
- Generous front lawns with shrubs and trees and some low front yard fences;
- Consistent side yard setbacks providing space between buildings;
- Historic street layout and lot pattern;
- Mature deciduous street trees and boulevards between the curb and street in some locations.

Contextual value:

Abbreviated from the heritage survey form, the contextual value of the building is based on the following characteristics:

- Atypical compatibility with surrounding pattern of development; and
- Moderate contribution to the history and architecture of the neighborhood.

F. Description of the Proposed Development

The redevelopment proposal proposes demolition of the existing building and replacement with one of virtually identical footprint that matches existing southerly and northerly setbacks. The south façade will align with the adjacent prevailing front yard setback of the buildings to the east along Wilbrod Street. The west façade will be set back from the property line to increase landscaping and allow a more generous entry landing and barrier free ramp, concealed by a low wall that wraps around to the south. Parking will be retained in the existing location but will be properly paved and contained with perimeter kerbs.

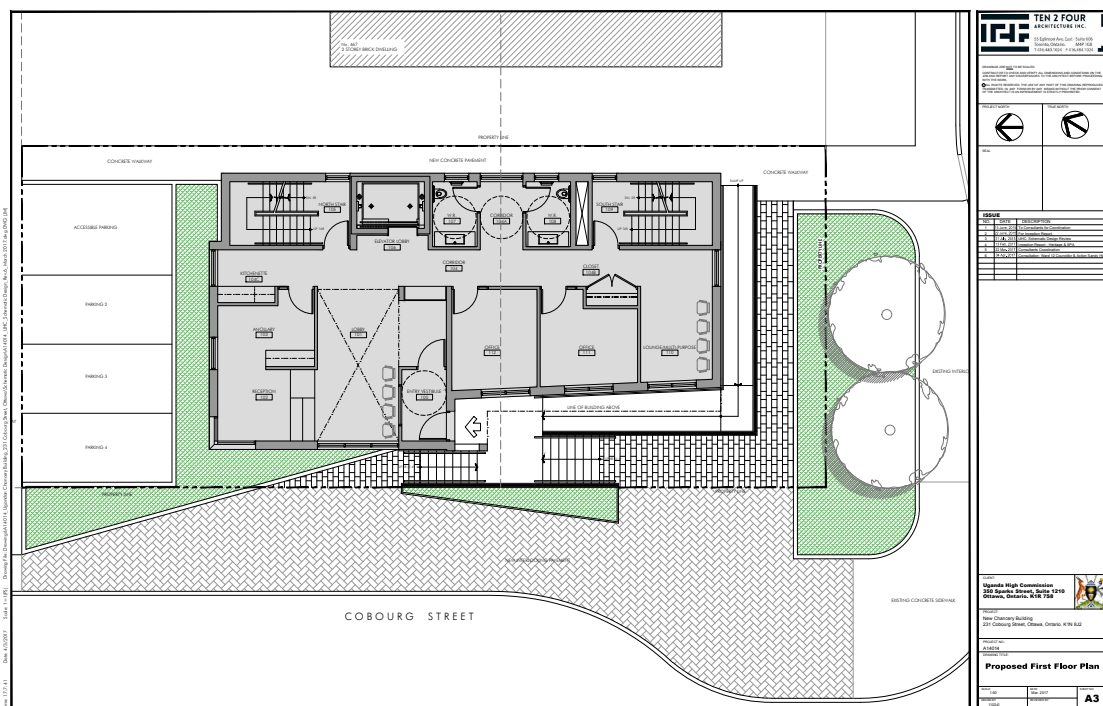


Figure 5: Proposed Site Plan

The two-storey flat roofed massing will be replaced with a three storey flat roofed massing slightly higher than adjacent buildings, but still within the district's prevailing range of two to three stories. The two-storey red brick massing of the original building, characteristic of the neighbourhood, will be retained floor the first two stories; light-coloured stucco set back from the brick, will clad the third storey. The elevator projection is located away from both primary facades, limiting its visual presence.

An octagonal window echoes the original building feature. Punched windows, based on a common module, with protruding frames, and a small brise-soleil add a degree of shadow relief to the facades.



Figure 6: Proposed West Elevation



Figure 7: Proposed South Elevation

G. Impact of Proposed Development

Our assessment attempts to identify any positive and negative impacts the proposed development may have on the heritage value of cultural heritage resources. Assessment is made by measuring the impact of the proposed works on the significance and heritage attributes defined in the background documents, and outlined in *Section E* of this CHIS. Specific to this proposal, the design proposal will be assessed against all three categories for designation (design value, historical value, contextual value).

Extracted from the City of Ottawa CHIS template, positive impacts of a development on cultural heritage resources typically include, but are not limited to (we have highlighted in bold those items deemed most relevant for consideration in this CHIS):

- restoration of a building or structure, including replacement of missing attributes,
- restoration of an historic streetscape or enhancement of the quality of the place,
- adaptive re-use of a cultural heritage resource to ensure its ongoing viability, and
- access to new sources of funds to allow for the ongoing protection and restoration of the cultural heritage resource.

Negative impacts include, but are not limited to:

- **Demolition of any, or part of any, heritage attributes or features,**
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance of a building or structure,
- **Shadows created that obscure heritage attributes or change the viability of the associated cultural heritage landscape,**
- Isolation of a heritage resource or part thereof from its surrounding environment, context or a significant relationship,
- Obstruction of significant identified views or vistas within or from heritage conservation districts,
- Obstruction of significant identified views or vistas within or from individual cultural heritage resources,
- **A change in land use where the change affects the property's cultural heritage value, and**
- **Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.**

For the proposal:

The physical destruction of a heritage resource, in all or in part, is at all times the greatest risk to built heritage. In this sense, this development proposal does not fulfill this primary and most basic task (of physical preservation) per the *Standards and Guidelines*; However, the potential to positively impact, or not adversely impact, the defined heritage resource still exists within each of the categories of significance, which have contributed to the conservation district.

Demolition

The demolition of the existing building is proposed. The identified structural issues from foundation settlement and subsequent breach of the building envelope, resulting in extensive water penetration and development of mold throughout the building, has meant that the structure has not been suitable for habitation since 2014.

The extent of abatement to remediate hazardous materials and substances, the repair and replacement of interior building components, electrical and mechanical system upgrades and the inter-related complications of all these processes, results in costs that are extremely

prohibitive.

Test boreholes for geotechnical purposes, with an aim of stabilizing the foundations and basement slab, have shown that no suitable bearing surfaces exist for approximately 20 m in depth. Additionally, the water table is high, further complicating the waterproofing challenges.

The HCD guidelines encourage retention and conservation of *Category 1, 2, 3* buildings. Although there seems to be a discrepancy between the HCD map and the individual scoring sheet as to whether 231 Cobourg is a *Category 4 or 3*, based on what we know and assess, we are of the opinion that the individual scoring sheet errs in its numbers (e.g. stylistic influence of 10/15 and development context of 8/15 and landmark status of 5/10) and that the overall score should be lower and more properly a *Category 4* building; overall, we are of the opinion that this is a marginal building in terms of contributing to the district's heritage character.

Overall, there are health and safety concerns that do not allow practical, cost-effective remediation or 'heroic measures' that might be justified with a high-value exemplar building. Combined with the programmatic requirements for the diplomatic mission that are larger than the existing structure can support, demolition of the building and replacement with a new purpose-built structure that addresses all of the above concerns and requirements seems reasonable and defensible. It should be noted that this approach is not that different than the existing building which itself replaced an earlier building, as part of the evolution of the district and cultural landscape.

Design (architectural) value:

231 Cobourg Street and its identified detailing and materiality is an example of the *Federal Classical* style, but the use of this style in the mid 1950s may be seen as a somewhat anomalous transplant from an earlier period (c. 1800) of architectural stylistic development in the United States and out of sync with the prevailing language in the conservation district. Although the Heritage Study gives *high-medium* scores under the architecture category, we are of the opinion that these are exaggerated and that the building features are not exemplars of either the period nor of the referenced style.

The reuse of an octagonal window above entry is seen as a small playful nod to the original building.

Based on the proposed low profile and stepped massing on a corner lot, the shadow impacts are very minimal, contained to the rear yard of 467 Wilbrod.

Cultural & Historical value:

The proposal for demolition and replacement of the converted residential building with a purpose built small office building, represents a break in the cultural & historical value of the property based on the following characteristics:

- Whereas the existing building was formerly residential and converted to office use, the new use will be a more permanent non-residential use in a primarily residential neighbourhood, albeit a continuation of a use that has existed for over three decades.

When comparing the existing footprint and massing of the converted residential building to what is proposed, the cultural & historical value of the property is not diminished based on the following characteristics:

- The Sandy Hill example of a residential neighbourhood with key features including historic street pattern, consistent house to lot ratios, generous front yard setbacks and tree lined streets will be maintained and in fact improved, with increased side yard setback and landscaping,

Heritage District Attributes:

The proposal for demolition and replacement of the converted residential building with a purpose built small office building, does not significantly diminish the heritage district attributes, based on the following characteristics:

- The eclectic mix of architectural styles will be maintained, with the replacement building a well detailed expression of contemporary design;
- The primarily residential character will be maintained, largely because the proposal maintains an existing (zoning exception) use;
- The predominantly two to three-storey building height in the district is maintained with the three-storey proposal;
- The consistent use of building materials including red and buff brick, limestone and wood is maintained in the replacement building;
- The proposal includes a large open front porch, albeit in a contemporary expression. This maintains the desirable street level animation;
- Generous front lawns with shrubs and trees and site grading and landscaping will be maintained and improved;
- Consistent side yard setbacks, providing space between buildings, will be maintained;

- The proposal respects the historic street layout and lot pattern; and
- The mature deciduous street trees and boulevards between the curb and street will be maintained.

Contextual value:

The proposal for demolition and replacement of the converted residential building with a purpose built small office building, is assessed as not significantly diminishing the heritage district contextual value, based on the following characteristics:

- The atypical compatibility with surrounding pattern of development is not impacted with the design of the existing building and is somewhat improved with increased side yard setbacks and landscaping; and
- The existing building's very moderate contribution to the history and architecture of the neighborhood is lost; however, it in itself is a replacement building constructed in approximately the mid-point of Sandy Hill's development. The new building, in this sense, may be seen as part of the normal evolution of a district, whereby over time buildings will be replaced and/or renovated.
- The consideration that the building may have been the home of Prime Minister Pearson for a short period is not seen as significant. To our knowledge, Pearson's home was not a factor in his work or figured prominently in his career accomplishments. It must be also noted that the *Events/Persons* component of a City Heritage Evaluation only accounts for 5 points out of 100; even if this this category were awarded the maximum, because of the Pearson association, the overall score would still be 48/100 (*Category 3*), due to low scores in other components of the overall heritage scoring.

H. Alternatives and Mitigation Strategies

The CHIS must assess alternative development options and mitigation measures in order to avoid or limit the negative impact on the heritage value of identified cultural heritage resources.

Taken from the City of Ottawa CHIS template, methods of minimizing or avoiding a negative impact on a cultural heritage resource(s) include but are not limited to (we have highlighted in bold those items that may be relevant for consideration in this CHIS):

- **Alternative development approaches that result in compatible development and limit negative impacts,**

- Separating development from significant cultural heritage resources to protect their heritage attributes including, but not limited to, their settings and identified views and vistas,
- **Limiting height and density or locating higher/denser portion of a development in a manner that respects the existing individual cultural heritage resources or the heritage conservation district,** and
- **Including reversible interventions to cultural heritage resources.**

For the proposal:

While the design proposal proposes demolition of the existing building, the replacement building's low massing, size and building features make significant efforts in relation to the existing heritage resource and its Design Value, Cultural & Historical Value, Heritage District Attributes, and Contextual Value.

The Consultant assesses that the primary risk to the heritage resource is the demolition and removal of the heritage resource from its context, and the disruption of its status as a converted residential building in a residential neighbourhood.

For reasons discussed above, and based on professional assessment of structural, geotechnical and environmental issues, we are in agreement with the proposal that the existing building may be demolished without significant impact to the heritage conservation district. The focus must now turn to the larger district heritage character to ensure that the replacement building is compatible and can fit well in its context. There are some relevant recommendations in the *Wilbrod/Laurier HCD Plan*, especially under *Section 4.5 Guidelines for Category 4 Buildings* which cover *Demolition*, *Section 4.6 Guidelines for Infill* and *Section 4.7 Guidelines for Streetscape and Public Realm*. We are of the opinion that the proposed development adheres extremely well to these provisions.

Strategies, which could mitigate impacts to the heritage resource's contextual value, will also serve to mitigate the impacts to its design value. In this particular instance, the two categories are intrinsically linked through an overall appreciation of the proposed building's massing and facades.

Recommendation 1: Refinement of residential typology and scale at south.

The institutional look of the design proposal on the south facade contrasts with the residential character on the block. Advancing the design to express a more distinctly residential typology,

with some articulation to read at a residential scale, may help to preserve the residential character and improve the dialogue with the surrounding primarily residential context.

Recommendation 2: Consider further refinement of the third-floor materiality.

While the use of red brick for the lower floors is seen as appropriate and beneficial, the stark white of the upper floor may draw unnecessary attention. Further consideration and refinement of the material treatments in the third-floor facade is encouraged.

Recommendation 3: Consider material expression of Entry Stair and Ramp.

The current design evolution suggests a fairly thin exposed concrete retaining wall at the entry stair and barrier free ramp. The horizontal screen wall of the barrier free ramp appears to be an elegant way to hide the sloped ramp behind; however, some further consideration of the foundation wall, stair and ramp wall is encouraged to improve the appearance and/or make material connections to the stone foundations of adjacent houses.

I. Conclusion

The proposed demolition of this former residential apartment structure, converted for office use over three decades ago, is regrettable but understandable given the structural, geotechnical and environmental issues, supported by thorough professional assessment.

The program of a small-scale office building, maintaining the same use as the existing, following the provisions of the *Wilbrod/Laurier Heritage Conservation District Plan* regarding *Demolition, Guidelines for Infill* and *Guidelines for Streetscape and Public Realm* is appropriate. We are of the opinion that the proposed development adheres extremely well to these provisions and the replacement building is assessed as being not detrimental to the cultural value of the larger conservation district heritage resource.

The overall massing of the development on a corner lot will maintain connections to the residential neighborhoods in the same manner as the existing building.

The increased westerly side yard setback, and maintaining northerly and southerly setbacks in alignment with the adjacent properties is appropriate and represent an improvement. The redesign of the entry stair landing forecourt contributes to landscaping and public realm space on this corner lot. All existing mature trees will be retained and additional landscaping added to what is a fairly bare flat site.

The material expression is contemporary in nature but makes references to prevailing material typologies in the district. The use of a red brick second floor datum line references the existing/original building, while demarcating the upper floor setback and material changes.

As the design is still quite schematic, further refinement of the design, prior to production of working drawings, is advised and specific recommendations are contained in this document.

Taken in balance and in its context, the development proposal is assessed as not being detrimental to District Character and overall, may be seen as a compatible approach for the heritage resource's identified Design (architectural), Cultural & Historical and Contextual Values.

Please do not hesitate to contact the undersigned should you have any questions or wish to discuss any aspect of this assessment.



Robert Martin OAA, MRAIC, CAHP, LEED AP

K. Glossary

Adversely impact

A project has the potential to “adversely impact” the cultural heritage value of a project if it; requires the removal of heritage attributes, requires the destruction of a cultural heritage resource, obscures heritage attributes, is constructed in such a way that it does not respect the defined cultural heritage value of a resource.

Built Heritage

Includes buildings, structures and sites that contribute to an understanding of our heritage and are valued for their representation of that heritage. They may reveal architectural, cultural, or socio-political patterns of our history or may be associated with specific events or people who have shaped that history. Examples include buildings, groups of buildings, dams and bridges.

Cultural Heritage Resources

Includes four components: Built Heritage, Cultural Heritage Landscapes, Archaeological Resources, and documentary heritage left by people.

Cultural Heritage Landscape

Any geographic area that has been modified, influenced, or given special cultural meaning by people and that provides the contextual and spatial information necessary to preserve and interpret the understanding of important historical settings and changes to past patterns of land use. Examples include a burial ground, historical garden or a larger landscape reflecting human intervention.

Preservation

Preservation involves protecting, maintaining and stabilizing the existing form, material and integrity of an historic place or individual component, while protecting its heritage value.

Rehabilitation

Rehabilitation involves the sensitive adaptation of an historic place or individual component for a continuing or compatible contemporary use, while protecting its heritage value.

Restoration

Restoration involves accurately revealing, recovering or representing the state of an historic place or individual component as it appeared at a particular period in its history, while protecting its heritage value.



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231 Cobourg Street, Ottawa, Ontario. K1N 8J2**

Consultation Package:

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TEN 2 FOUR ARCHITECTURE INC.



231 Cobourg Street, Ottawa, ON.

Background:

Sandy Hill West architectural character is diverse, non-uniform and the collectivity of its buildings reflects the evolving nature of this area through scale, date of construction, design or architectural style and materiality. According to the Sandy Hill Heritage Study, the building located at 231 Cobourg Street was constructed between 1935 and 1947 and is designated under Part V of the Ontario Heritage Act in the Wilbrod - Laurier Conservation District.

According to the heritage report on the property located at 231 Cobourg Street, the existing building makes a modest contribution to the heritage landscape (Group 3 according to the Sandy Hill East Heritage Study). It is significantly different in its muted federalistic architectural style to the many late-Victorian mansions with more heritage significance that have been converted for diplomatic use in the Sandy Hill neighbourhood. Having noted that however, it is to be emphasized here that we are very cognizant of the importance of this building and its contribution to the heritage character of this neighbourhood.

Commentary on Existing Conditions:

Given the age of the building, structural issues from foundation settlement and subsequent breach of the building envelope resulting in extensive water penetration and development of mold throughout the building means that the it is not suitable for habitation. It is precisely in light of this that Uganda High Commission (UHC) took a decision to vacate the building in 2014.

Although rehabilitation of the building is a theoretical possibility, given the scale and complexity of the required structural stabilization and structural rehabilitation, the extent of abatement to remediate hazardous materials and substances, repairs and replacements of interior building components, upgrades to electrical and mechanical systems and the unquantifiable complications of all these processes, the costs by all indications would be extremely prohibitive. As indicated in the structural report prepared by Stephenson Engineering Limited, the quantifiable estimated costs for rehabilitation are in excess of \$1.6 million dollars not including mechanical and electrical upgrades.

The recently completed geotechnical report by AA Scientific Inc. (ASI) illustrates the difficulty that would be encountered for the scope of the structural undertaking that would be required for stabilizing the basement slab and restoring the foundations. In the test boreholes that were drilled, no bedrock was encountered even at a depth of 19.5 metres (approximately 64 feet). The report indicates that enough resistance was encountered at this depth and concludes that consistent with ASI experience in the Ottawa

region, refusal depth can be considered as bedrock with a thin layer of weathered bedrock (or clay fill) overlain. Structural stabilization would require the use of drilled piles to at least this depth of refusal which would be an extremely complicated and costly undertaking with side-effects that can't even be anticipated and would further complicate the process. This is further compounded by a very high water table measured at 3m (approximately 10 feet) off season in winter meaning that it will be even higher in the spring and summer from melting snow and precipitation. This would make repair and water-proofing of the severely cracked basement foundation walls and slab an extremely difficult not to mention costly undertaking.

Deflection of structural members due to settlement and extensive water penetration means that structural rehabilitation will also be substantial because of the compromised structural integrity of the framing members. In all likelihood, significant sections of the structure, if not all of it would have to be replaced. The amount of temporary shoring and bracing alone would be a significant cost.

We have also had a Designated Substance Survey (environmental) Report completed. Given the age of the building, it is no surprise that asbestos, lead, mercury and other hazardous materials are present. This essentially means that full abatement will be required and will have to precede all other rehabilitation operations. In addition to this being a significant cost in and of itself (estimated at \$150,000.00 according to our environmental engineer), it will affect the following items if rehabilitation was to be considered:

Plaster Repair/Replacement - complete interior refinishing with drywall will be required because all interior finishes will have to be removed during the abatement process. Contaminated sections of the structure primarily due to mold infestation will have to be replaced. A time intensive and exhaustive assessment of the extent of mold infestation would have to be carried out through destructive investigation. An inventory of the affected structural items would then have to be catalogued and assessment made to determine which sections would require replacement. Major temporary structural intervention would be required to ensure that the building remains structurally safe. The time and expense associated with this exercise cannot be reasonably estimated due in large part to the concealed conditions requiring destructive investigation as previously mentioned but suffice to say that it would be prohibitive.

In all likelihood, mold has developed behind in the cavities of most of the interior partitions and exterior walls. This means that the entire building envelope – sheathing, insulation, vapour barrier, interior drywall finishes, etc. - would have to be completely replaced. Again, the scope of this in light of the aforementioned structural interventions would be significant.

The challenges at hand can be summarized as follows;

1. Through a combination of structural deficiencies and deferred or inadequate maintenance over the past few decades typical of buildings in the heritage significance category, the building has, unfortunately fallen into a terrible state of disrepair beyond the possibility of rehabilitation, largely due to the former issue of a failing structure, compounded by the compromised building envelope which probably resulted in inadequate maintenance due to prohibitive costs. To reiterate, the unstable foundation situation has led to settling which is responsible for the severely cracked basement slab and foundation walls. The corresponding stresses manifested through significant deflection of structural members and the ensuing breach of the building envelope. The results of the breach in the building envelope are water penetration into the building which has resulted in significant development of mold, especially in the basement areas and some wall cavities as evidenced through areas where wall finishes and plaster ceilings have collapsed. The other, more hidden danger is that of the possibility of radon gas infiltration into the building through the severely cracked basement slab and block foundation walls. Of paramount importance here are health and safety concerns that cannot be simply remediated due to astronomical costs and the primary reason for vacating the building.
2. The requirements of the diplomatic mission for adequate space to accommodate their program of functions necessitates a solution beyond the limitations of the existing structure given its challenges, especially the

prohibitive costs for rehabilitation clearly demonstrated in the structural report.

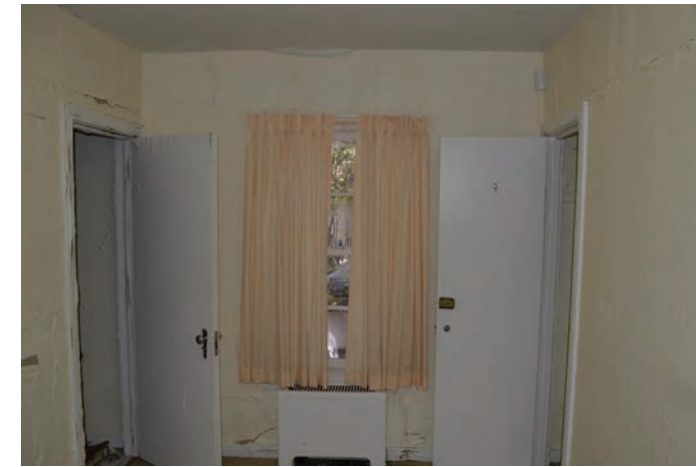
Existing Condition Examples:



Evidence of repairs and water infiltration at cracked basement slab. Note new slab infill on the left side.



Cracked basement slab and water infiltration.



Evidence of water soaked exterior and interior walls. Structural settling and cracking of basement slab, foundation walls and subsequent breach of the building envelope has led to this condition.



Evidence of extensive cracking and repairs in exterior brick masonry due to failing structure.



Evidence of repairs at extensive cracking in basement foundation wall.



History of crack repairs at basement foundation wall indicates ongoing problem of settlement. Note the concrete block replacements.



Exposed floor joists at collapsed drywall ceiling due to water infiltration.



Collapsed drywall ceiling due to water infiltration.

Planning Rationale Summary:

The case for demolition and replacement with a new, more energy efficient building and one that properly caters to the programming and functional requirements of UHC and is informed by the provisions of all governing statutes is not unreasonable and we would argue, justifiable and defensible under the circumstances.

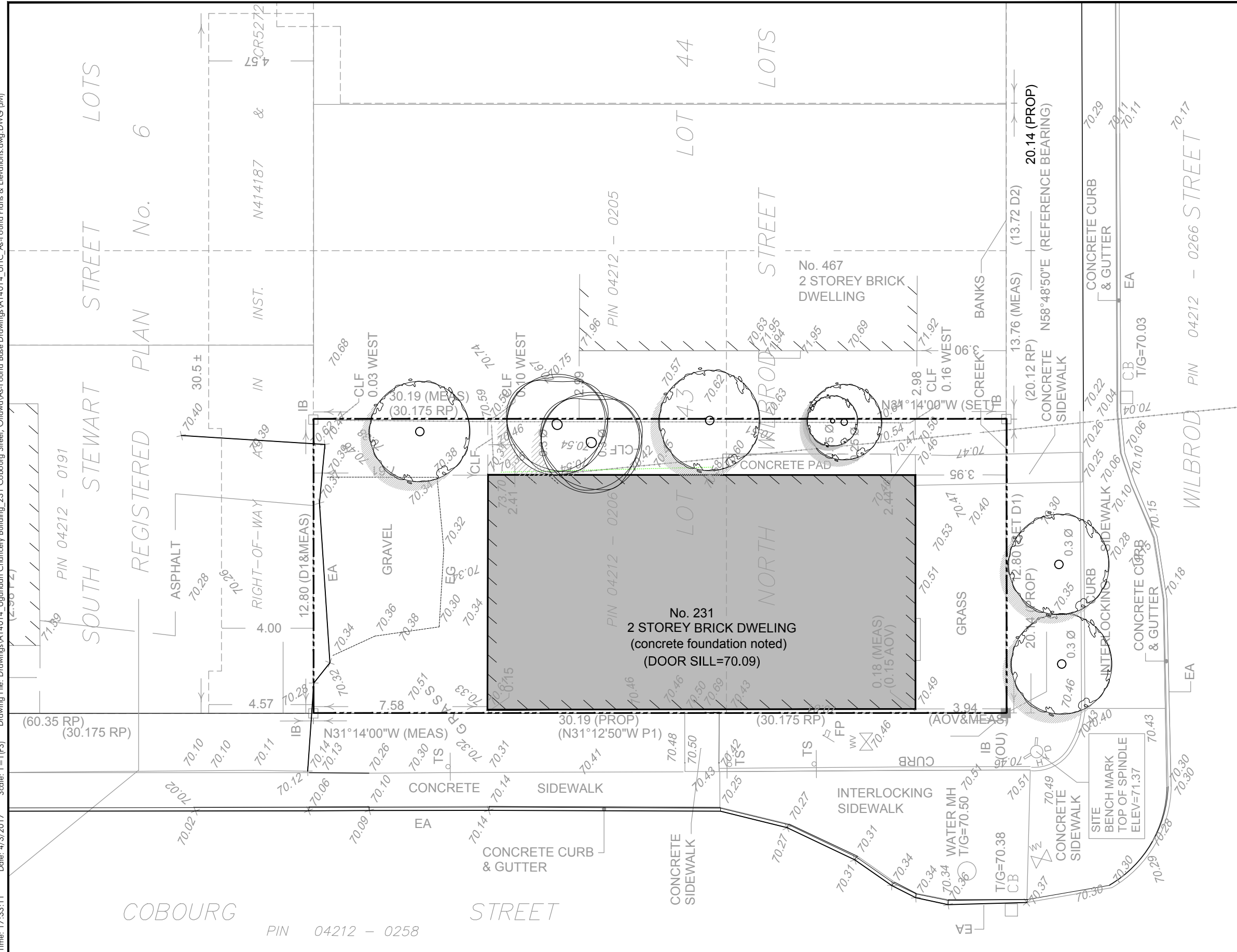
Our approach is to integrate the proposed building in this complex and diverse architectural tapestry of Sandy Hill in a manner that is not only contextually agreeable and palatable but also in a way that contributes to the evolving nature of the area, adding another chapter to the history of time, place and materiality that intertwines harmoniously with the existing character, however diverse it may be.

This has been addressed through strict adherence to the heritage overlay provisions - for scale, volume, materiality and fenestration pattern - and the urban design guidelines to ensure positive contribution to the character of the neighbourhood. This is consistent with the SHHSA's observation of the "evolving complexity of the existing character that clearly reflects the dynamic history of this sector of the City of Ottawa".

In conclusion, having exhausted the investigations for rehabilitation of the existing building and explored the possibilities for redevelopment through several consultations with Ottawa Planning and Heritage staff to ensure strict adherence to governing statutes and thorough review of the heritage overlay provisions and the urban development guidelines, we are of the opinion that our considered proposal for the redevelopment of the parcel at 231 Cobourg Street will not only be compatible within the diverse heritage fabric of Sandy Hill but will also add a delightful chapter in the evolution of this dynamic cultural landscape.

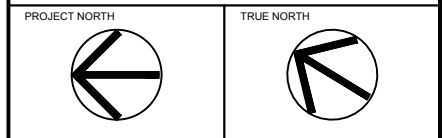
The extremely considered approach for the proposed redevelopment informed by the guidelines for infill developments and applicable statutes for zoning and development and heritage overlay requirements, is an honest attempt to revitalize and freshen the 231 Cobourg Street property in a compatible manner that looks forward in its design and environmental stewardship but also takes its cues from an established heritage context of the site and the cultural heritage landscape that it inherits while addressing the programming and functional requirements of the Uganda High Commission.

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2	04 Apr. 2017	Consultation: Ward 12 Councillor & Action Sandy Hill

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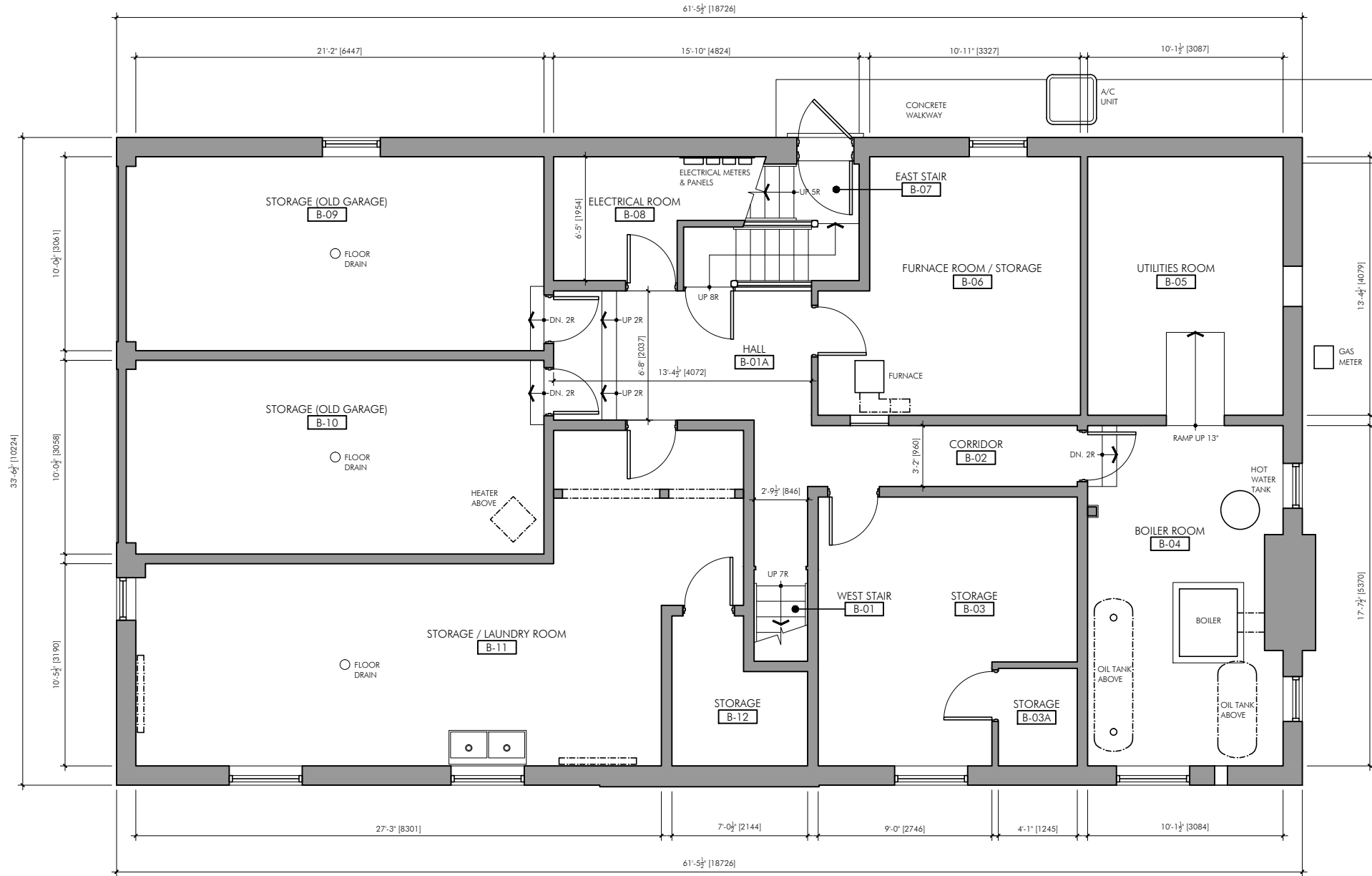
PROJECT:
Chancery Building
231 Cobourg Street,
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PROJECT NO.:
A14014

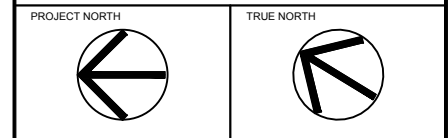
DRAWING TITLE:
As-Found Site Plan

SCALE: 1/8" = 1'-0"	DATE: May 2015	SHEET NO.:
DRAWN BY: [1024]	REVIEWED BY: JM	AF-1

Time: 17:33:11 Date: 4/3/2017 Scale: 1 = 1/4" (PS) Drawing File: Drawings\A1401.4_Ugandan Chancery Building_231 Cobourg Street, Ottawa\As-Found Base Drawings\A1401.4_UHC_As-Found Plans & Elevations.dwg.DWG (JM)



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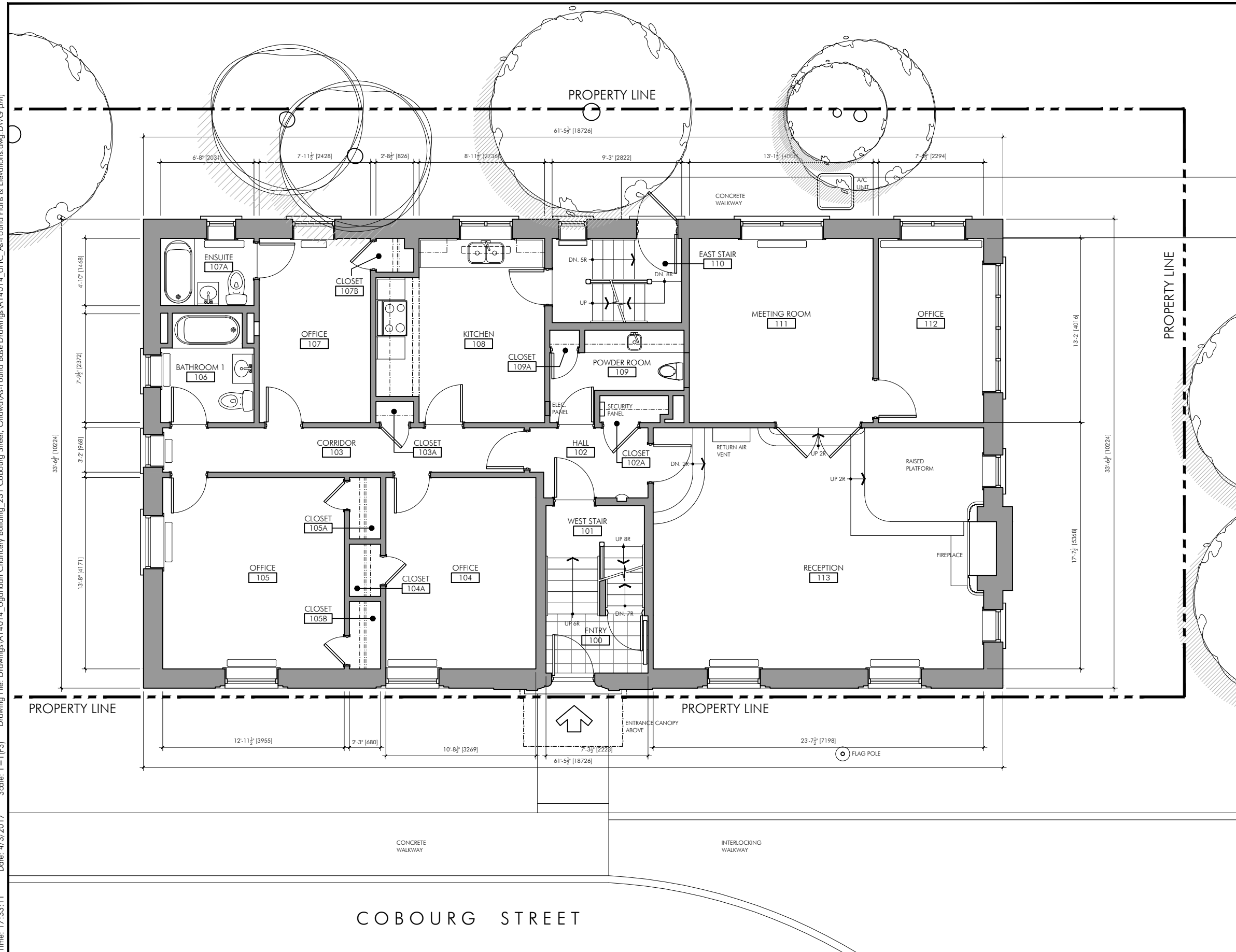
PROJECT:
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PROJECT NO.:
 A14014

DRAWING TITLE:
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SCALE: 1/4" = 1'-0"	DATE: May 2015	SHEET NO.: AF-2
DRAWN BY: [1024]	REVIEWED BY: JM	

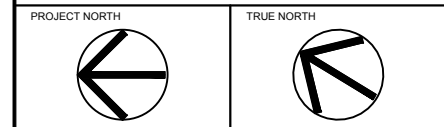
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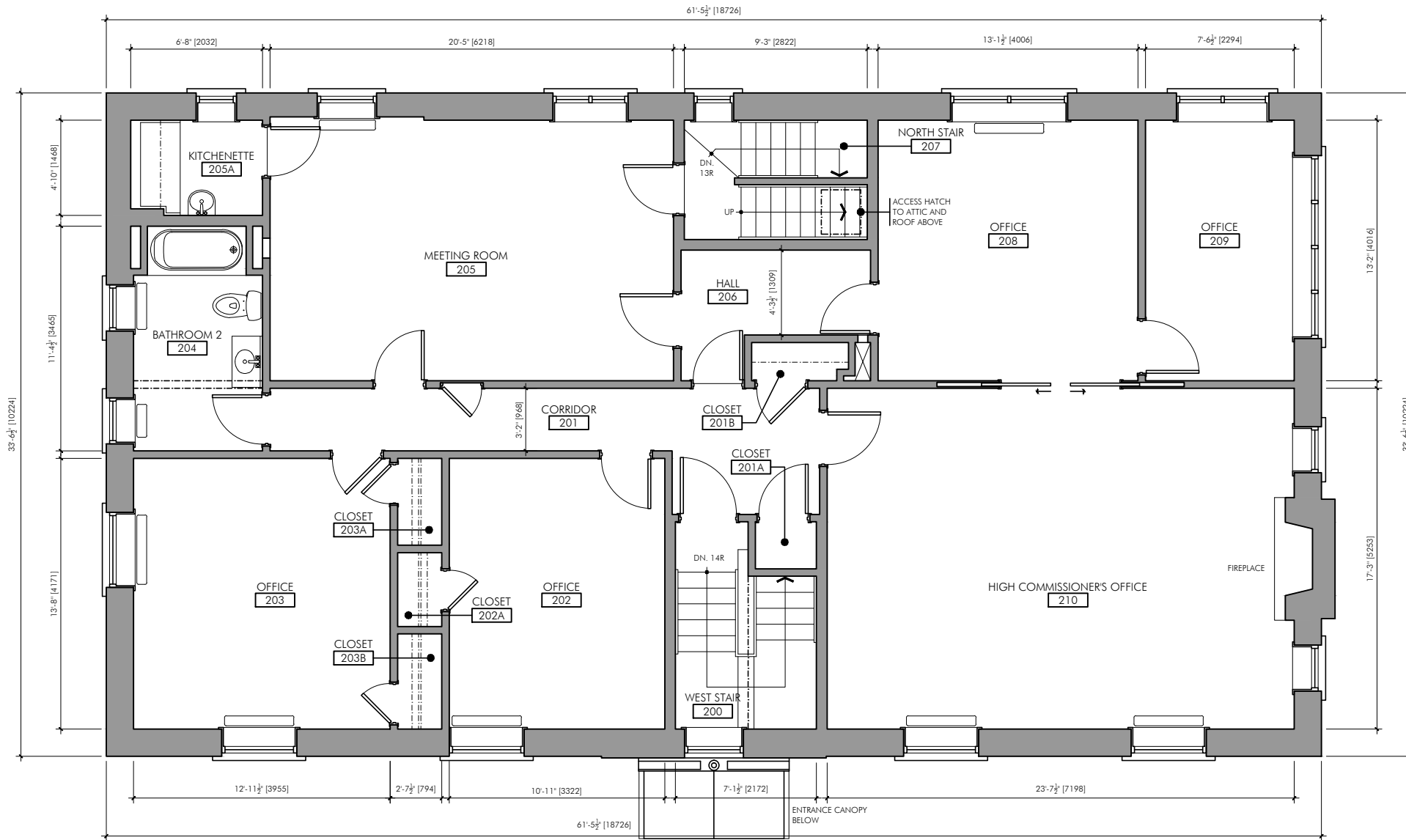
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DRAWING TITLE:
**As-Found
First Floor Plan**

SCALE: 1/4" = 1'-0"	DATE: May 2015	SHEET NO.:
DRAWN BY: [1024]	REVIEWED BY: JM	AF-3

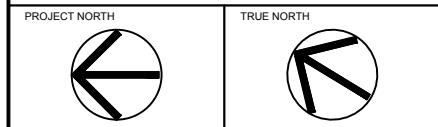
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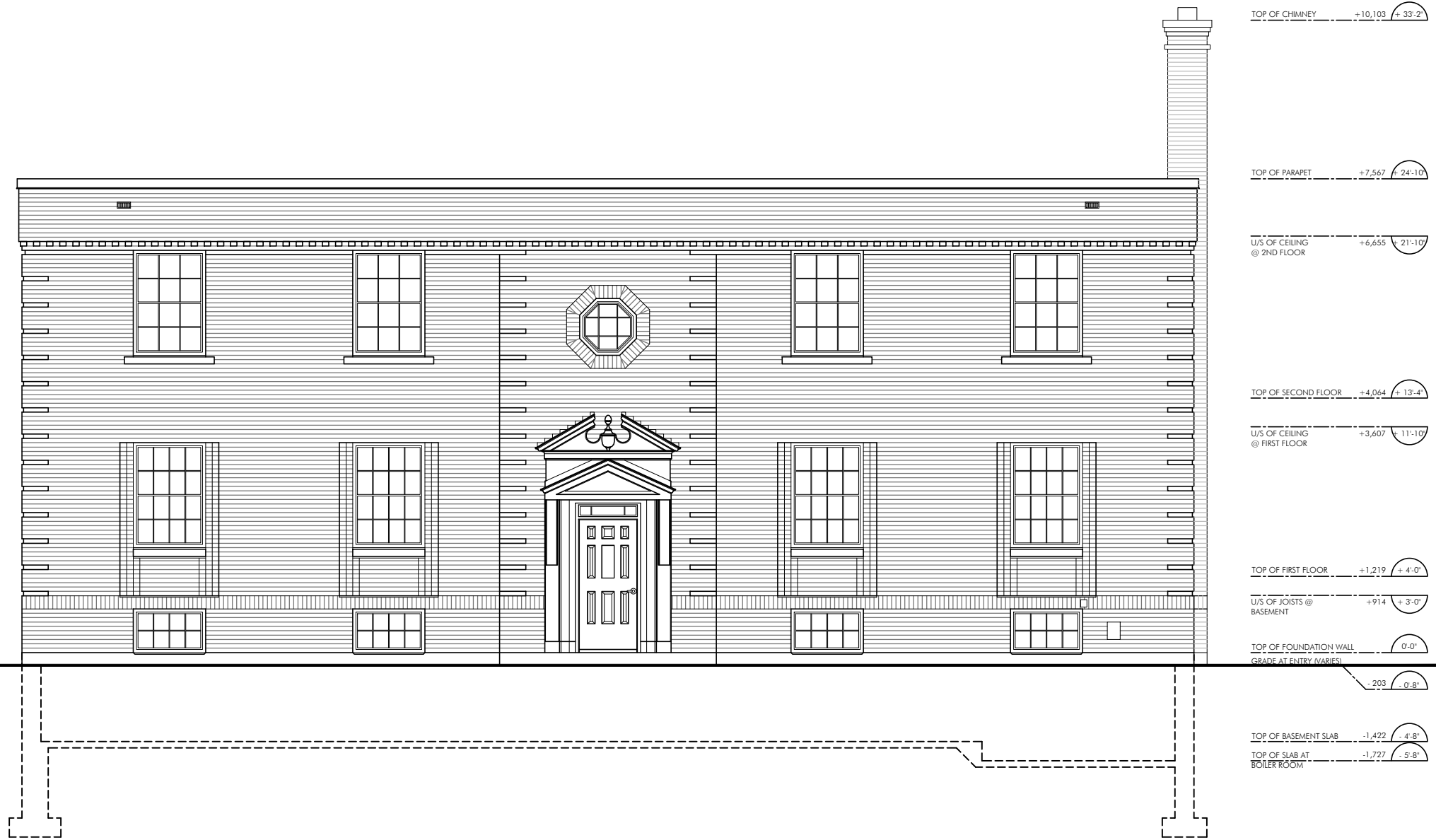
PROJECT:
Chancery Building
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PROJECT NO.:
A14014

DRAWING TITLE:
**As-Found
Second Floor Plan**

SCALE: 1/4" = 1'-0"	DATE: May 2015	SHEET NO.: AF-4
DRAWN BY: [1024]	REVIEWED BY: JM	

Time: 17:33:11 Date: 4/3/2017 Scale: 1 = 1/4" (PS) Drawing File: Drawings\A1401.4_Ugandan Chancery Building_231 Cobourg Street, Ottawa\As-Found Base Drawings\A1401.4_UHC_Ae-Found Plans & Elevations.dwg.DWG (JM)



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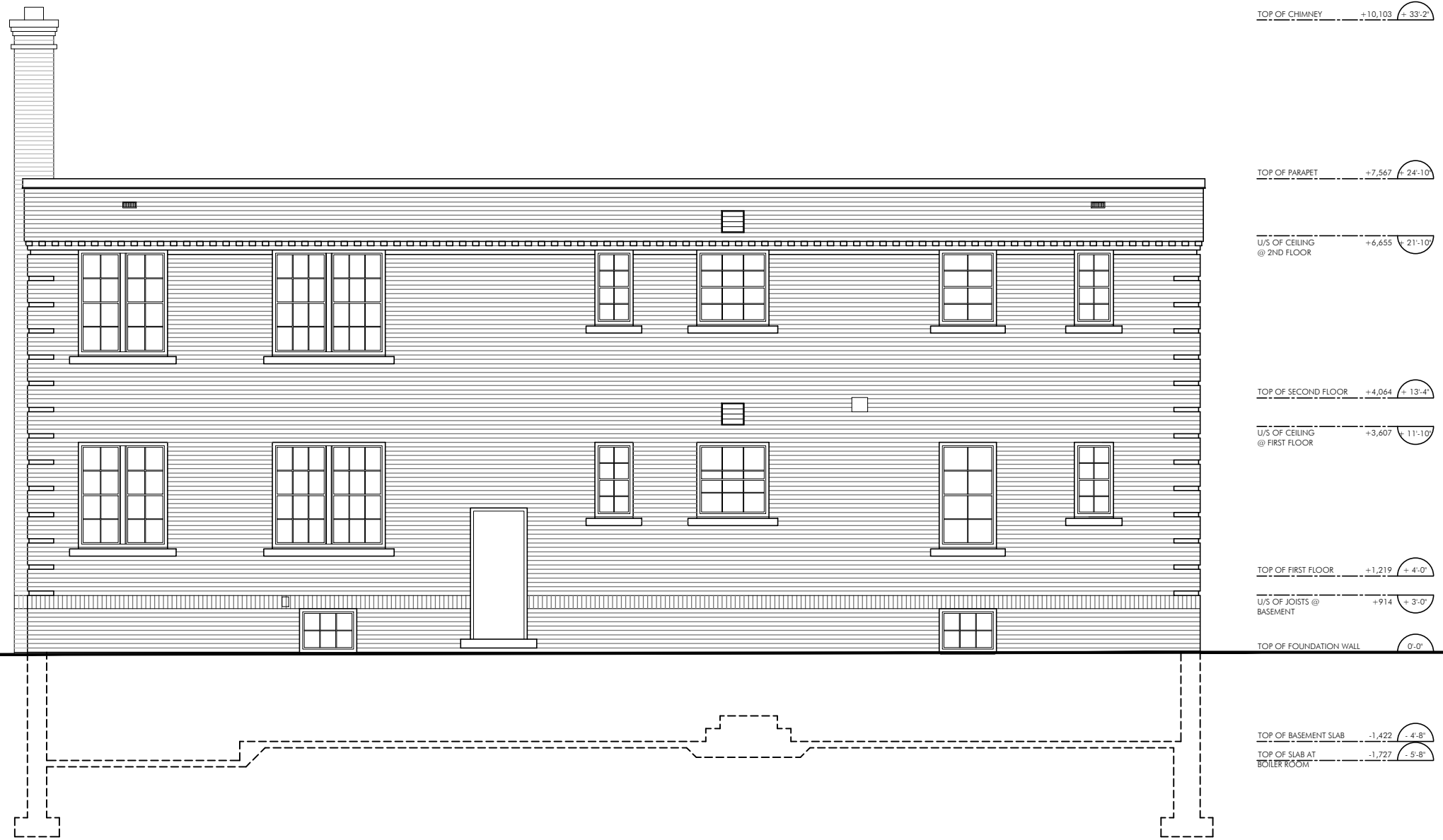
PROJECT:
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PROJECT NO.:
A14014

DRAWING TITLE:
As-Found West Elevation
[Cobourg Street]

SCALE: 1/4" = 1'-0"	DATE: May 2015	SHEET NO.: AF-5
DRAWN BY: [1024]	REVIEWED BY: JM	

Time: 17:33:11 Date: 4/3/2017 Scale: 1 = 1/4" (PS) Drawing File: Drawings\A14014_Ugandan Chancery Building_231 Cobourg Street, Ottawa\As-Found Base Drawings\A14014_UHC_Ae-Found Plans & Elevations.dwg.DWG (JM)




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DRAWING TITLE:
As-Found East Elevation

SCALE: 1/4" = 1'-0"	DATE: May 2015	SHEET NO.:
DRAWN BY: [1024]	REVIEWED BY: JM	AF-6

Time: 17:33:11 Date: 4/3/2017 Scale: 1 = 1/8" (PS) Drawing File: Drawings\A14014_Ugandan Chancery Building_231 Cobourg Street, Ottawa\As-Found Base Drawings\A14014_UHC_Ae-Found Plans & Elevations.dwg.DWG (JM)

COBOURG STREET



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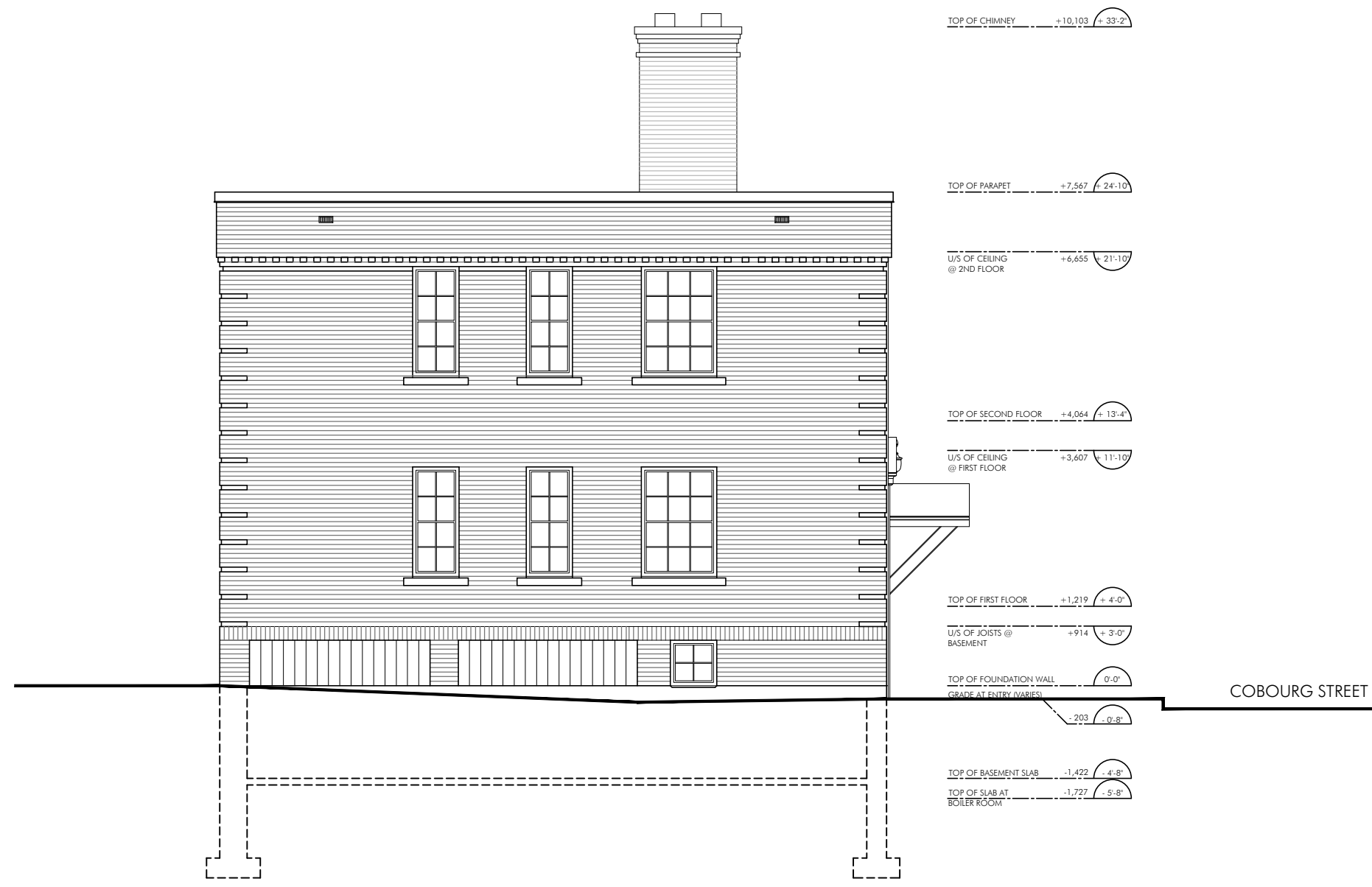
PROJECT:
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PROJECT NO.:
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DRAWING TITLE:
As-Found South Elevation
[Wilbrod Street]

SCALE: 1/4" = 1'-0"	DATE: May 2015	SHEET NO.:
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Time: 17:33:11 Date: 4/3/2017 Scale: 1 = 1/4" (PS) Drawing File: Drawings\A1401.4_Ugandan Chancery Building_231 Cobourg Street, Ottawa\As-Found Base Drawings\A1401.4_UHC_Ae-Found Plans & Elevations.dwg.DWG (JM)



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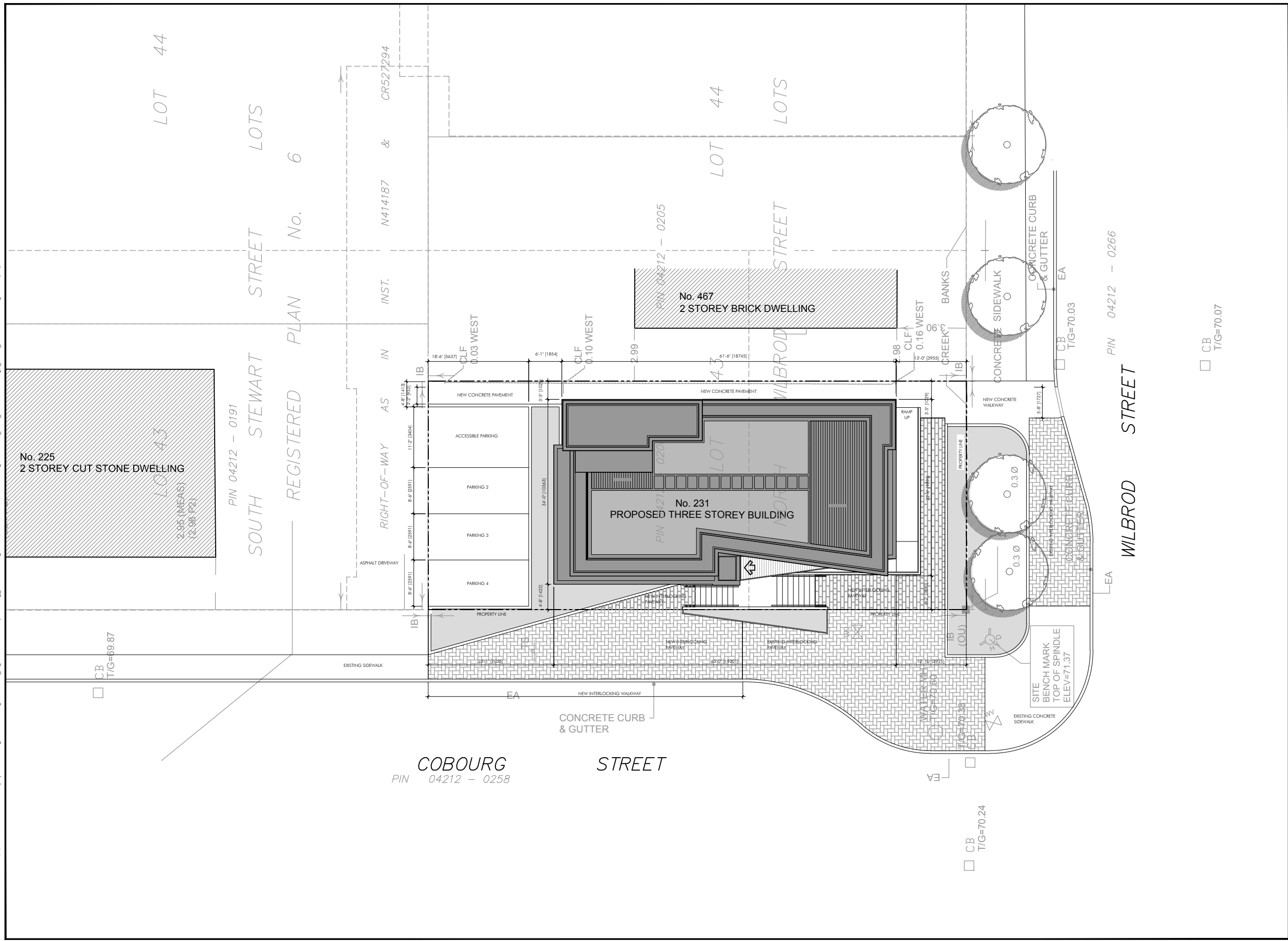
PROJECT:
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PROJECT NO.:
A14014

DRAWING TITLE:
**As-Found
North Elevation**

SCALE: 1/4" = 1'-0"	DATE: May 2015	SHEET NO.:
DRAWN BY: [1024]	REVIEWED BY: JM	AF-8

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1	15 June 2015 To Consultants for Coordination
2	22 June 2015 For Inspection Report
3	31 July 2015 UHC Schematic Design Review
4	08 Feb. 2017 Consultants Coordination
5	13 Feb. 2017 Inspection Report- Heritage & SPA
6	22 Mar. 2017 Consultants Coordination
7	04 Apr. 2017 Consultation: Ward 12 Councillor & Action Sandy Hill

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 New Chancery Building
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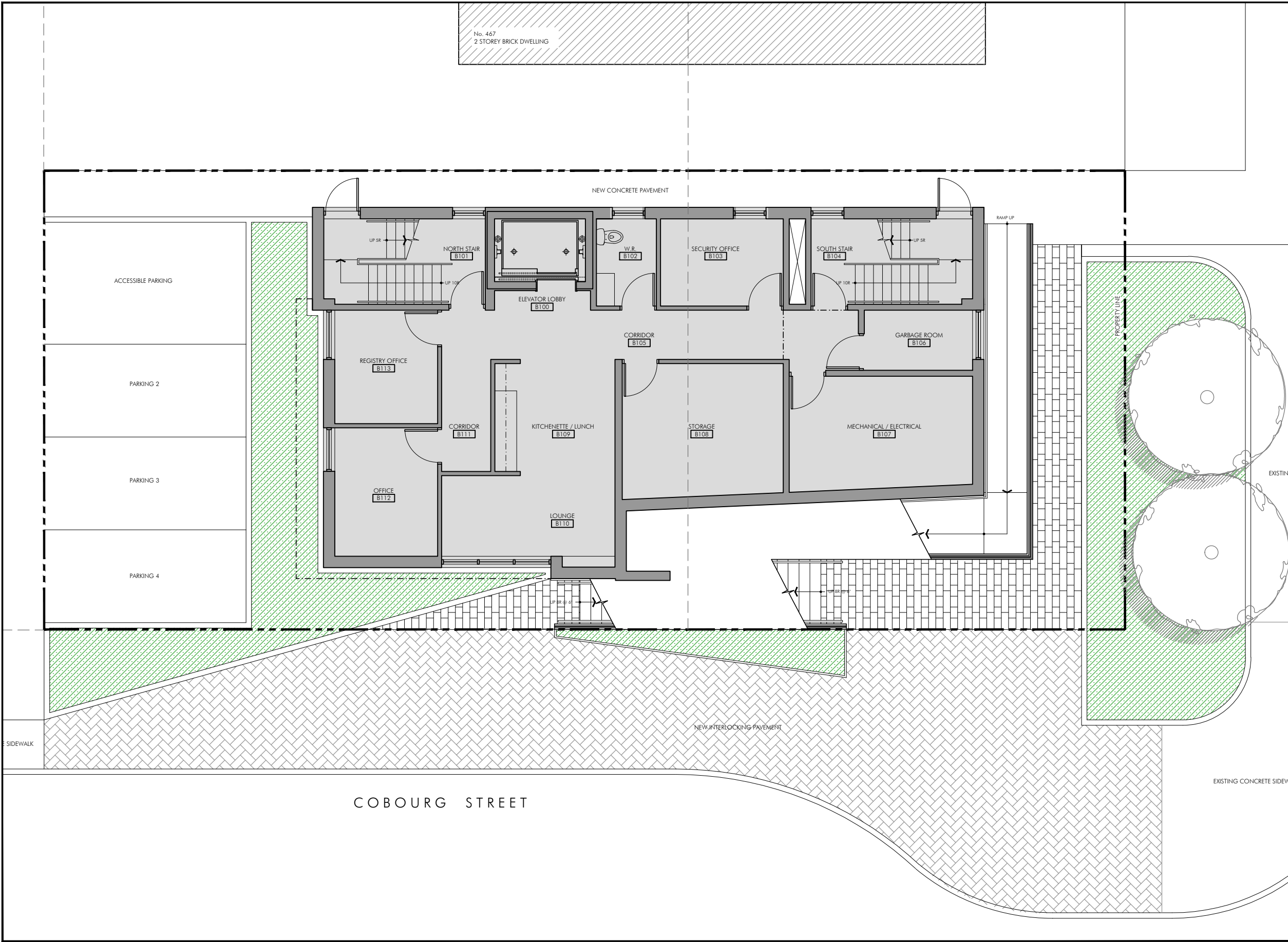
PROJECT NO.:
A14014

DRAWING TITLE:
Proposed Site Plan



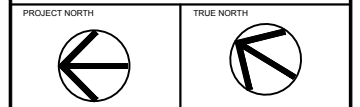
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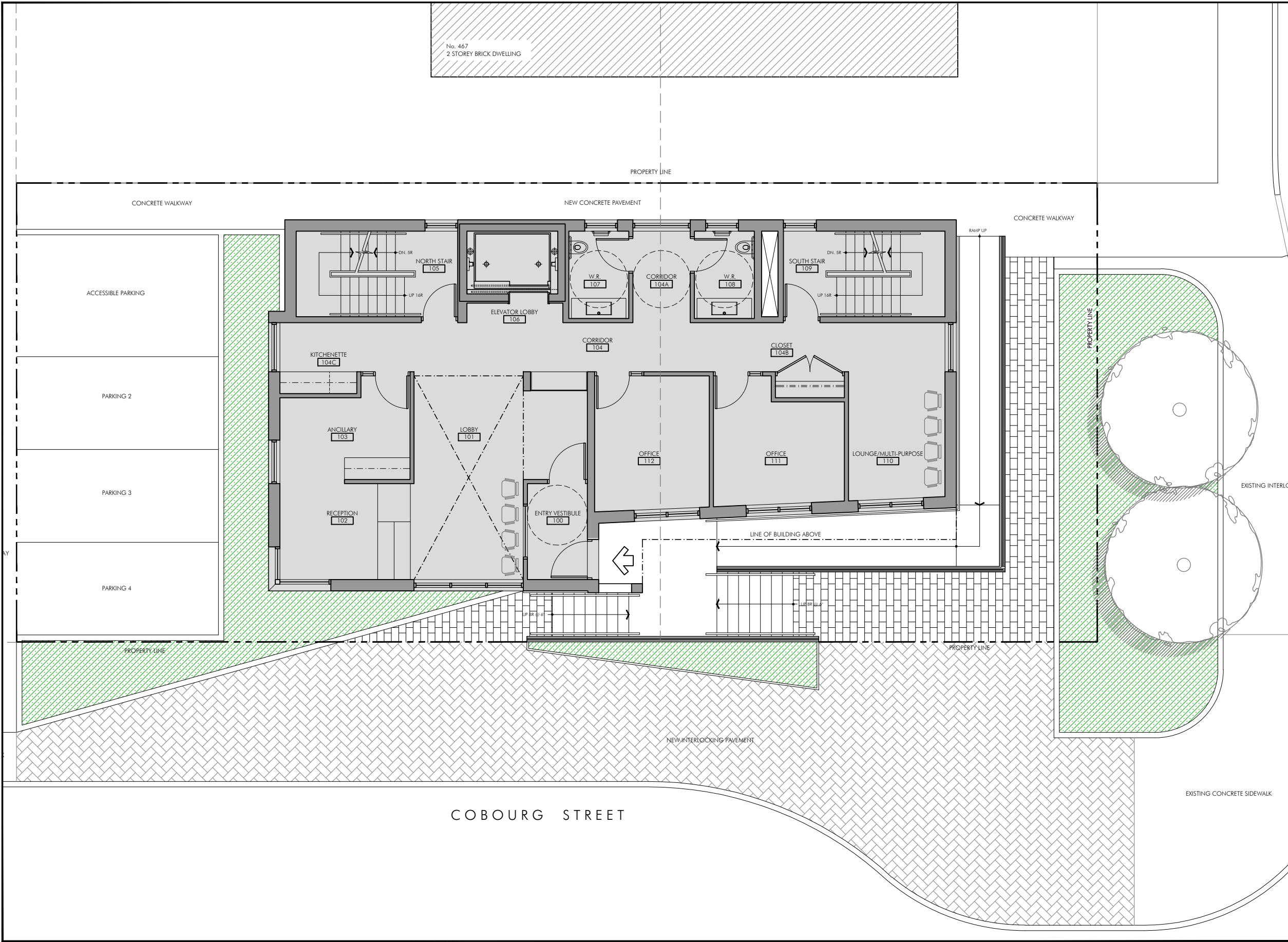
PROJECT:
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PROJECT NO.
 A14014

DRAWING TITLE:
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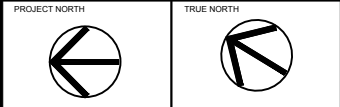
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6	04 Apr. 2017	Consultation: Ward 12 Councillor & Action Sandy Hill

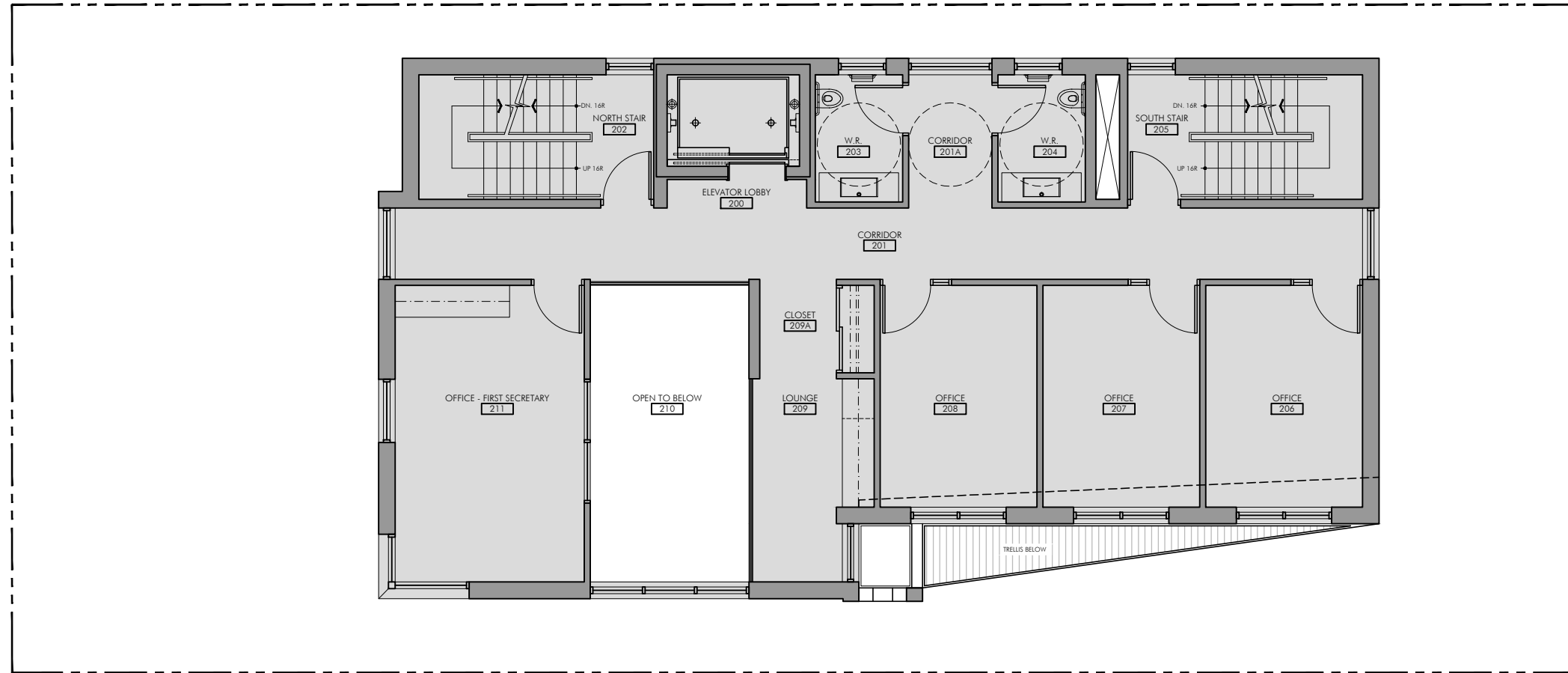
CLIENT:
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 350 Sparks Street, Suite 1210
 Ottawa, Ontario. K1R 7S8

PROJECT:
 New Chancery Building
 231 Cobourg Street, Ottawa, Ontario. K1N 8J2

PROJECT NO.
A14014
 DRAWING TITLE:
Proposed First Floor Plan

SCALE: 1:50	DATE: Mar. 2017	SHEET NO.:
DRAWN BY: [1024]	REVIEWED BY:	A3

Date: 4/3/2017 Scale: 1 = 1/8" Drawing File: Drawings\A14014_Ugandan Chancery Building_231 Cobourg Street, Ottawa\Schematic Design\A14014_UHC_Schematic Design_Rev_6_March 2017.dwg.DWG (JM)



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PROJECT NORTH 	TRUE NORTH
SEAL	

ISSUE		
NO.	DATE	DESCRIPTION
1	15 June 2015	To Consultants for Coordination
2	22 June 2015	For Inception Report
3	31 July 2015	UHC Schematic Design Review
4	08 Feb. 2017	Consultants Coordination
5	13 Feb. 2017	Inception Report - Heritage & SPA
6	22 Mar. 2017	Consultants Coordination
7	04 Apr. 2017	Consultation: Ward 12 Councillor & Action Sandy Hill

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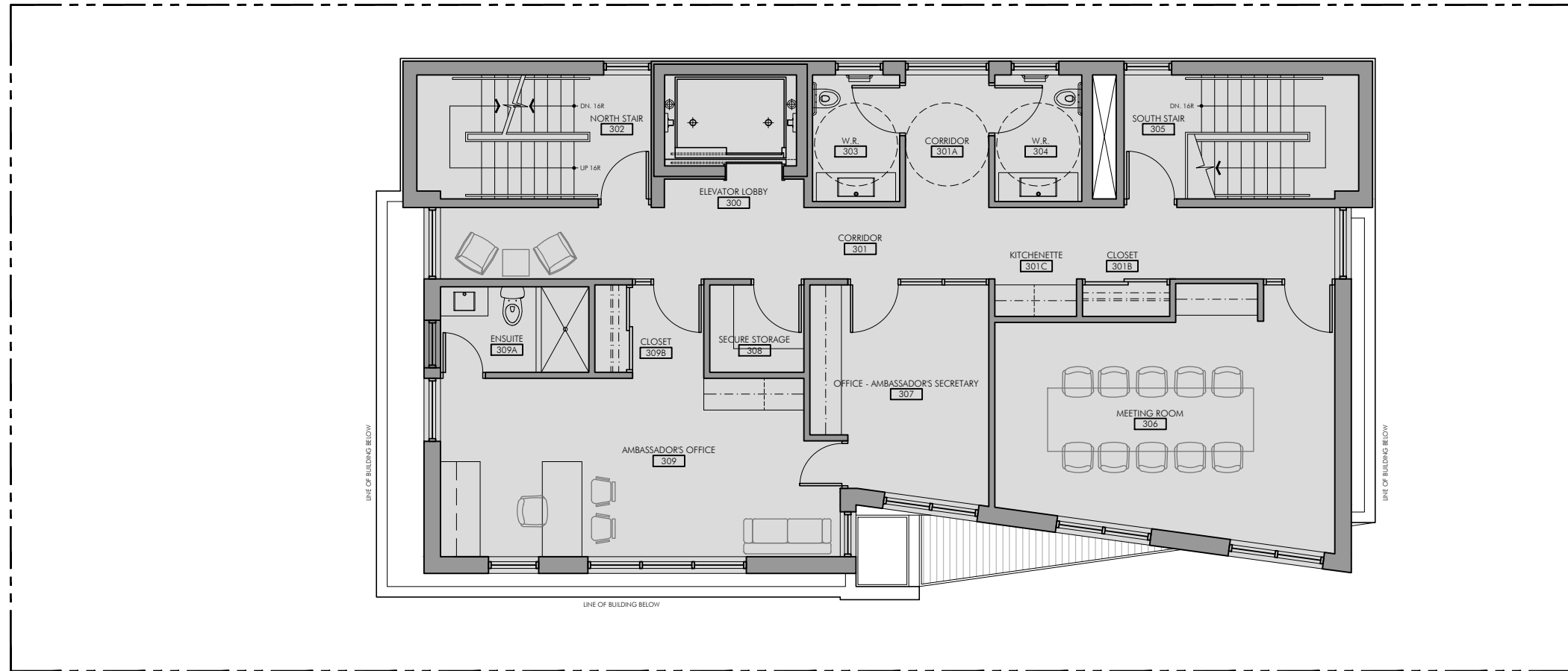
PROJECT:
 New Chancery Building
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PROJECT NO.:
A14014

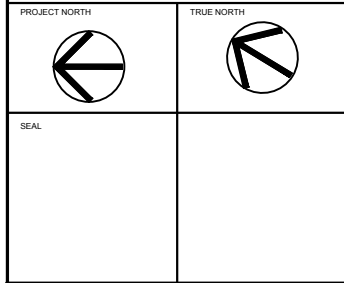
DRAWING TITLE:
**Proposed
 Second Floor Plan**

SCALE: 1:50	DATE: Mar. 2017	SHEET NO.:
DRAWN BY: [1024]	REVIEWED BY:	A4

Date: 4/3/2017 Scale: 1 = 1/8" Drawing File: Drawings\A14014_Ugandan Chancery Building_231 Cobourg Street, Ottawa\Schematic Design\A14014_UHC_Schematic Design_Rev_6_March 2017.dwg.DWG (JM)



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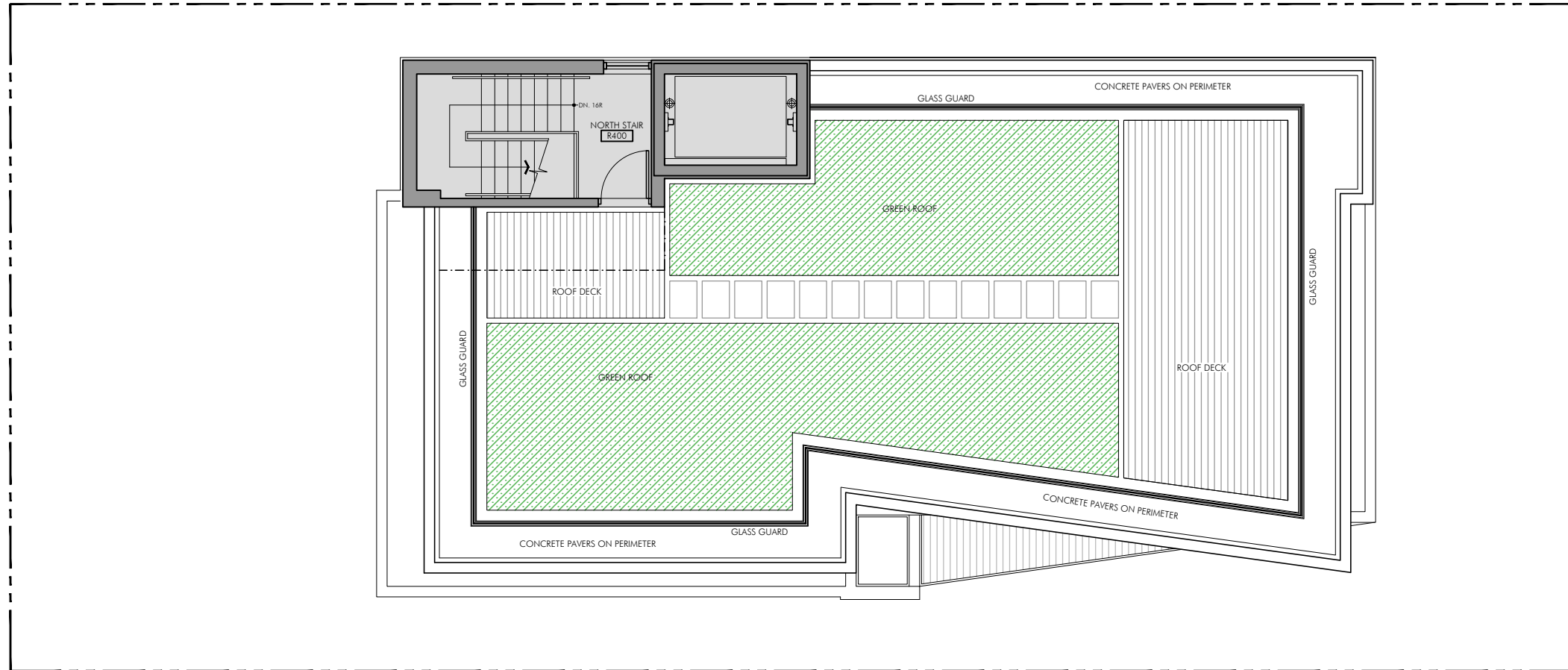
PROJECT:
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PROJECT NO.:
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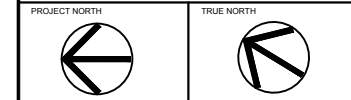
DRAWING TITLE:
Proposed Third Floor Plan

SCALE: 1:50	DATE: Mar. 2017	SHEET NO.:
DRAWN BY: [1024]	REVIEWED BY:	A5

Time: 17:7:41 Date: 4/3/2017 Scale: 1 = 1/8" Drawing File: Drawings\A14014_Ugandan Chancery Building_231 Cobourg Street, Ottawa\Schematic Design\A14014_UHC_Schematic Design_Rev_6_March 2017.dwg.DWG (JM)



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PROJECT:
New Chancery Building
231 Cobourg Street, Ottawa, Ontario. K1N 8J2

PROJECT NO.
A14014

DRAWING TITLE:
Proposed Roof Plan

SCALE: 1:50	DATE: Mar. 2017	SHEET NO.:
DRAWN BY: [1024]	REVIEWED BY:	A6

Drawing File: Drawings\A14014_Ugandan Chancery Building_231 Cobourg Street, Ottawa\Schematic Design\A14014_UHC_Schematic Design_Rev.6_March.2017.dwg.DWG (JM)
 Date: 4/3/2017 Scale: 1 = 1/8" Date: 17:7:41




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1	21 May, 2015	City of Ottawa: Pre-Application Consultation
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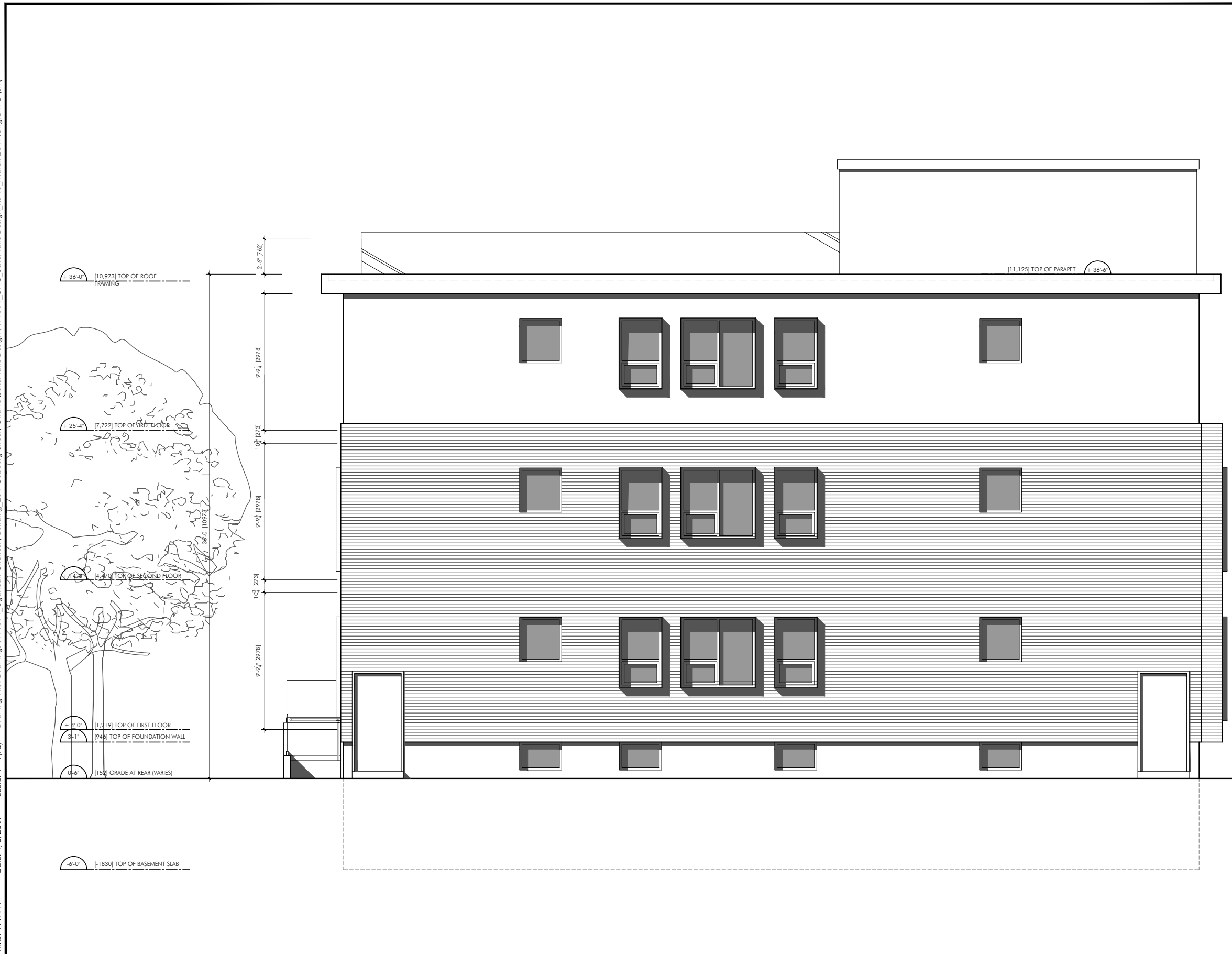
PROJECT:
 Chancery Building
 231 Cobourg Street, Ottawa Ontario. K1N 8J2

PROJECT NO:
 A14014

DRAWING TITLE:
Proposed West Elevation
[Cobourg Street]

SCALE: 1:50	DATE: Mar. 2017	SHEET NO: A7
DRAWN BY: [1024]	REVIEWED BY:	

Time: 17:7:41 Date: 4/3/2017 Scale: 1 = 1/8" Date: 4/3/2017 Drawing File: Drawings\A14014_Ugandan Chancery Building_231 Cobourg Street, Ottawa\Schematic Design\A14014_UHC_Schematic Design_Rev.6_March 2017.dwg.DWG (JM)



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PROJECT:
Chancery Building
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PROJECT NO:
A14014

DRAWING TITLE:
Proposed East Elevation

SCALE: 1:50	DATE: Mar. 2017	SHEET NO: A8
DRAWN BY: [1024]	REVIEWED BY:	

Date: 4/3/2017 Time: 17:7:41 Scale: 1 = 1/8" Date: 4/3/2017 Drawing File: Drawings\A14014_Ugandan Chancery Building_231 Cobourg Street, Ottawa\Schematic Design\A14014_UHC_Schematic Design_Rev.6_March.2017.dwg.DWG (JM)



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PROJECT NORTH	TRUE NORTH

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PROJECT NO.:
A14014

DRAWING TITLE:
Proposed North Elevation

SCALE: 1:50	DATE: Mar. 2017	SHEET NO.:
DRAWN BY: [1024]	REVIEWED BY:	A9

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PROJECT:
Chancery Building
231 Cobourg Street, Ottawa Ontario. K1N 8J2

PROJECT NO:
A14014

DRAWING TITLE:
Proposed South Elevation

SCALE: 1:50	DATE: Mar. 2017	SHEET NO: A10
DRAWN BY: [1024]	REVIEWED BY:	

Date: 4/3/2017 Time: 17:7:41 Scale: 1 = 1(P) Drawing File: Drawings\A14014_Ugandan Chancery Building_231 Cobourg Street, Ottawa\Schematic Design\A14014_UHC_Schematic Design_Rev.6_March 2017.dwg.DWG (JM)



0 KEY PLAN
A11 SCALE: AS SHOWN

Map data ©2017 Google 20 m



1 EXISTING CONTEXT - Daly Ave. To Wilbrod St.- East Side
A11 SCALE: AS SHOWN



2 EXISTING CONTEXT - Wilbrod St. To Daly Ave. - West Side
A11 SCALE: AS SHOWN



3 EXISTING CONTEXT - Augusta St. To Charlotte St. - North Side
A11 SCALE: AS SHOWN



4 EXISTING CONTEXT - Charlotte St. To Augusta St.- South Side
A11 SCALE: AS SHOWN

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PROJECT NORTH	TRUE NORTH
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ISSUE:		
NO.	DATE	DESCRIPTION
1	04 Apr. 2017	Consultation: Ward 12 Councillor & Action Sandy Hill

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PROJECT:
Chancery Building
231 Cobourg Street, Ottawa Ontario. K1N 8J2

PROJECT NO.:
A14014

DRAWING TITLE:
**EXISTING CONTEXT
Streetscape Character Analysis**

SCALE: N.T.S.	DATE: March 2017	SHEET NO: A11
DRAWN BY: [1024]	REVIEWED BY:	

231 Cobourg Street



1 EXISTING CONTEXT - Daly Ave. To Wilbrod St.- East Side
A11 SCALE: AS SHOWN



2 EXISTING CONTEXT - Wilbrod St. To Daly Ave. - West Side
A11 SCALE: AS SHOWN

231 Cobourg Street



3 EXISTING CONTEXT - Augusta St. To Charlotte St. - North Side
A11 SCALE: AS SHOWN



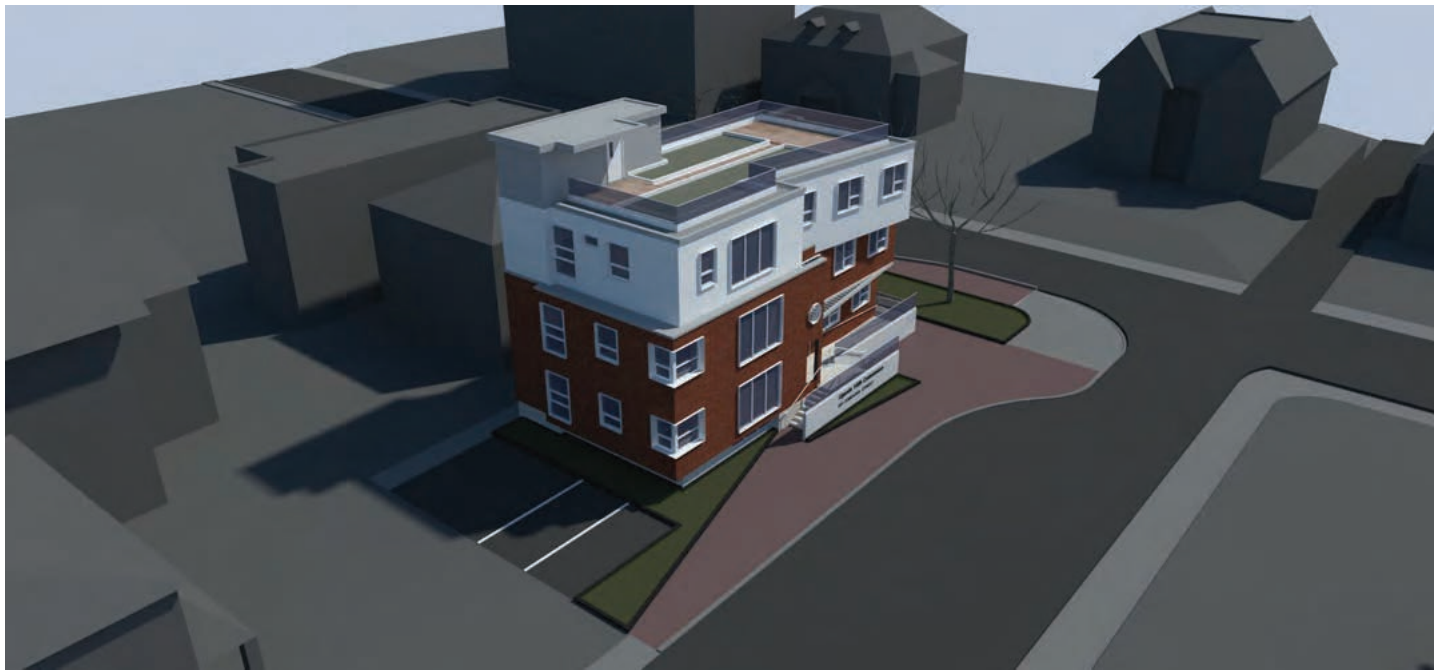
4 EXISTING CONTEXT - Charlotte St. To Augusta St.- South Side
A11 SCALE: AS SHOWN



Perspective View from South-West (Wilbrod and Cobourg)



Perspective View from North-West (Cobourg Street)



Aerial Perspective from North-West (Cobourg Street)



Plan View



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Perspective View from North East



Main (West) Elevation (Cobourg Street)



Aerial Perspective from South-West (Wilbrod and Cobourg)



Aerial Perspective from Wilbrod Street Looking North



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Descriptive sheet

231 Cobourg St

Municipal Address	231 Cobourg Street	Building name	231 Cobourg St
Legal description		Lot:	Block: Plan:
Age/Date of Construction	1935-1947	Original use	
		Present use	



Source: Ron J. Roy

Date: 2006/27/10

Heritage Status

Existing heritage building	Name:	
	Bylaw / date:	
Existing heritage district	Name:	
	Bylaw / date:	
Potential Heritage Building:	not defined	
Potential Heritage District:	not defined	
Comments:		

Phase 2 Evaluation Results

Prepared by: Date:

Score	100 - 70	69 - 55	55 - 40	39 - 0
Group			3	

History

Prepared by: Carolyn Van Sligtenhorst Date: 2007/04/17

Age/Date of Construction (Factual/Estimated)

Between 1935-47.

M1878: Area not covered by map.

M1888(1901): Area not covered by map.

First building:

M1902(1912): 2 1/2 storey brick dwelling with shingled roof, front porch.

M1902(1922): Same

Second building (same as current):

M1948: 2 storey building, brick on concrete with tar & gravel roof.

M1956: Same

Events**Persons/Institutions**

D1923-Not listed

D1934-Not listed

D1948 - Apartments (all occupants)

Bell and Vera M. MacKintosh

1 - Patterson G. Murphy

2 - J. Leslie and Dorothy Elvidge

Developmental Context

This apartment building reflects increased later demand for more modest, multi-unit residential development on Cobourg Street in the 30s and 40s. .

Summary/Comments on historical significance

The historical significance of this building lies in its role in continuing the residential development of Cobourg Street.

Historical sources

- June 1878 Insurance Plan of Ottawa, Ontario. National Map Collection, Public Archives Canada.
- January 1888 Key Plan of Ottawa and Vicinity. (Revised 1901). National Map Collection, Public Archives Canada.
- September 1902 Key Plan of the City of Ottawa, Ontario. Volume 1 (Revised 1912). National Map Collection, Public Archives Canada.
- September 1902 Insurance Plan of the City of Ottawa, Ontario. Volume 1 (Revised 1922). National Map Collection, Public Archives Canada.
- November 1948 Fire Insurance Map, Ottawa, Ontario. Volume 2. National Map Collection, Public Archives Canada.
- October 1956 Fire Insurance Map, Ottawa, Ontario. Volume 2. National Map Collection, Public Archives Canada.
- The Ottawa City Directory, 1934, 1948.

Architecture**Prepared by:** Chris Wiebe **Date:** 2007/02/08**Architectural characteristics and design**

Property characteristics: Single use institutional. Detached, 2 storey with rectangular plan, center entry and occupied basement. Site features consist of parking lot at side.

Exterior elements: Flat roof of unknown material; 1 brick chimney. Decorative roof elements include a raised parapet. Exterior brick wall with string courses, brick corbels, stone sills, quoins of brick and decorative brick patterns. Parged foundation.

Windows and doors: Rectangular wood double hung 1 x 1 8 x 8 windows. Metal storm windows. Octagonal window on upper storey. Single metal front door with transom window in door.

Other features: 1 storey wood porch with flat roof, pediment and wood brackets.

Architectural Stylistic Influences

Federal stylistic influences

Designer/Builder/Architect

N/A

Architectural integrity

Medium to high: Non-original door, storm windows, and some other windows affect integrity.

Other**Summary/Comments on architectural significance**

This is one of a small number of purpose-built apartment buildings in Sandy Hill dating from the middle years of the 20th century. It is somewhat atypical in its modest Federal stylistic influence, characterized by the broken pediment at the door surround surmounted by an octagonal window. The symmetrical composition, the double hung windows with divided lights, and the implied Classical detailing of the brick quoins and cornice are all significant elements of the facade and should remain in future renovations.

Context

Prepared by: Date:

Existing heritage building	Name:	
	Bylaw / date:	
Existing heritage district	Name:	
	Bylaw / date:	



Source: Ron J. Roy

Date: 2006/27/10

Compatibility with surroundings:

Pattern of site use: Atypical (corner site facing Cobourg, rather than Wilbrod)
 Use: Typical (residential)
 Height/Volume: Typical
 Materials: Typical (brick)
 Typology: Type 8 (apartment)

Community context/Landmark status

This property makes a moderate contribution to the history and architecture of the neighbourhood.

Summary/Comments on environmental significance

This property is modestly compatible with the block in which it sits.

HISTORY	Age/Date of Construction	Pre 1890	1891 - 1900	1901 - 1910	1911 - 1925	1926 - 1950	1951 +	Score
		10	8 - 9	6 - 7	4 - 5	✓ 1 - 3	0	2/10
	Events / Persons			High	Medium	Low	N / A	1/5
				4 - 5	3	✓ 1 - 2	0	
Developmental Context			High	Medium	Low			8/15
			11 - 15	✓ 6 - 10	1 - 5			
Total								11/30

ARCHITECTURE	Architectural characteristics	Proportion/Scale	Detail/Craftsmanship	Coherence	Score
		3/5	3/5	3/5	9/15
	Stylistic Influence	Strong	Medium	Weak	10/15
		11 - 15	✓ 6 - 10	0 - 5	
Designer / Builder / Architect	Renowned	Known	Unknown	0/5	
	3 - 5	1 - 2	✓ 0		
Architectural Integrity	High	Medium	Low	3/5	
	4 - 5	✓ 2 - 3	0 - 1		
Total					22/40

CONTEXT	Compatibility with surroundings	Sets example	Reinforces pattern	Compatible with pattern	Incompatible with pattern	Score
		15 - 20	10 - 14	✓ 5 - 9	0 - 4	6/20
	Community Context/Landmark Status	Strong	Moderate	Weak	No	5/10
		7 - 10	✓ 4 - 6	1 - 3	0	
Total						11/30

Phase II score	44/100
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Heritage Status	Group	3
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Wilbrod/Laurier

Heritage Conservation District Plan



April 2015

Wilbrod/Laurier Heritage Conservation District Plan

1.0 Background

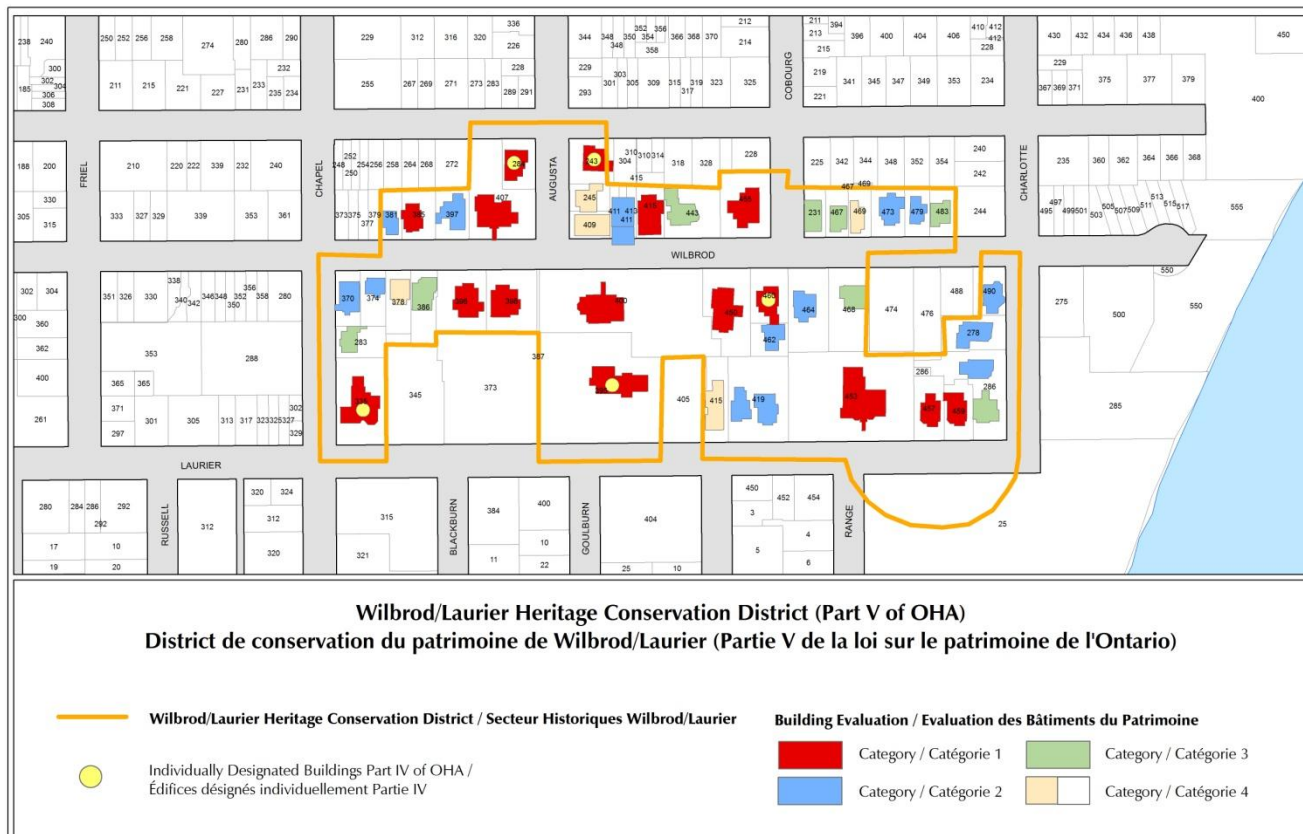
The Wilbrod/Laurier Heritage Conservation District (HCD) was designated in 1982 by the former City of Ottawa for its cultural heritage value. It is one of the earliest heritage conservation districts designated in Ontario and one of the first designated in Ottawa. At the time of designation, there was no heritage conservation district management plan or statement of heritage character adopted by Council. As a result, the management of change in this district for the past 30 years has been on a case by case basis using best practices in heritage conservation.

Changes to the *Ontario Heritage Act* in 2005 provided municipalities with the ability to adopt heritage conservation district plans by by-law to assist in the management of change in HCDs. For existing HCDs, a management plan can be adopted by a new by-law that does not change the boundaries or designation of the existing HCD.

In 2007, the City of Ottawa initiated the Sandy Hill Heritage Study (SHHS) with the goal of evaluating all of the buildings in the study area and proposing mechanisms to protect and enhance the heritage character of the neighbourhood. One of the outcomes of the SHHS is the creation of HCD plans for the five existing districts in the study area. This document is the management plan for the Wilbrod/Laurier HCD.

2.0 Boundaries

The boundaries of the Wilbrod/Laurier HCD are irregular, but generally follow Wilbrod Street and the north side of Laurier Avenue from Chapel Street west to Charlotte Street. A small portion of Strathcona Park is also included. The detailed boundaries are shown in the map below:



3.0 Policy Framework

The Wilbrod/Laurier Heritage Conservation District is regulated by both municipal and provincial policies. These include Part V of the *Ontario Heritage Act*, the City of Ottawa Official Plan and the Provincial Policy Statement.

Ontario Heritage Act

The *Ontario Heritage Act* (the *Act*) regulates the protection of cultural heritage resources within the province. A property that has been formally protected under the provisions of the *Act* is referred to as a “designated” property. According to Section 41.1 (2) of the *Act*, a municipality may pass a by-law adopting a heritage conservation district plan for any districts designated prior to 2005.

City of Ottawa Official Plan

Section 2.5.5 of the Official Plan provides direction regarding the protection of cultural heritage resources in the city. Policy 2.5.5 (2) states that:

Individual buildings, structures, sites and cultural heritage landscapes will be designated as properties of cultural heritage value under Part IV of the *Ontario Heritage Act*. Groups of buildings, cultural landscapes, and areas of the city will be designated as Heritage Conservation Districts under Part V the *Ontario Heritage Act*.

The Wilbrod/Laurier HCD was designated by City Council in 1982 and the purpose of this document is to enhance the protection for the existing HCD by implementing an HCD plan to guide change in the district.

Provincial Policy Statement, 2014

The purpose of the Provincial Policy Statement (PPS), issued under the *Planning Act*, is to provide municipalities in Ontario with policy direction on matters related to land use planning and development. Part V, Section 2.6 of the PPS provides direction regarding cultural heritage resources. It states:

- Significant built heritage resources and significant cultural heritage landscapes shall be conserved; and
- Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

4.0 Heritage Conservation District Plan

According to Section 41.1 (5) of the *Ontario Heritage Act*, a heritage conservation district plan shall include a statement of the objectives of the plan, a statement of cultural heritage value, a description of the attributes of the district, policy statements, guidelines and procedures for achieving the objectives of the plan and managing change and a description of the types of alterations that are minor in nature and can be undertaken without a permit.

4.1 Statement of Objectives

The objectives of this plan are:

- Identify and describe the cultural heritage value and heritage attributes of the HCD;
- Encourage the ongoing conservation and restoration of buildings of cultural heritage value in the HCD; and
- Provide a framework to manage change in the HCD in the future.

4.2 Statement of Heritage Character: Wilbrod/Laurier Heritage Conservation District

Description of Place

The Wilbrod/Laurier Heritage Conservation District (HCD) is a residential area within the Sandy Hill neighbourhood that was designated for its cultural heritage value under Part V of the *Ontario Heritage Act* by the former City of Ottawa through By-law 307-82 and amended by By-law 262-83. The boundaries of the district are irregular, but generally run along Wilbrod Street and Laurier Avenue between Chapel Street and Charlotte Street. Two properties on the south side of Stewart Street and the Strathcona Fountain and its associated landscape on the south side of Laurier Avenue in Strathcona Park are also included

Cultural Heritage Value

The cultural heritage value of the Wilbrod/Laurier HCD lies in its association with the development of Sandy Hill in the 19th and 20th centuries. It is significant for its association with the early development of Ottawa as the national capital, its rich architectural character and for its many prominent citizens.

The Wilbrod/Laurier HCD was originally part of the lands granted by Colonel John By to Lieutenant René-Leonard Besserer in 1828. Besserer died suddenly after the land grant and his brother, Louis Besserer, a veteran of the War of 1812 and a businessman in Quebec City inherited his estate. Besserer relocated to Ottawa in the 1830s to develop his estate. Besserer's land was first subdivided beginning in 1834 by his agent, William Stewart, who laid out the street plan for the estate. Development was slow until after Ottawa was named the capital of Canada in 1857. The influx of politicians and civil servants upon the completion of the Parliament Buildings in 1865 triggered the transformation of Sandy Hill from a sparsely populated neighbourhood at the edge of the city to a sought-after upper-middle class residential neighbourhood.

The Wilbrod/Laurier HCD is an excellent example of a late 19th century upper-middle class residential neighbourhood. Identifying features include its historic street pattern, consistent house to lot ratios, generous front yard setbacks and tree lined streets. The HCD features a mix of architectural styles popular during the period of development from the 1870s until the 1920s including examples of Gothic Revival, Second Empire, Queen Anne Revival, Edwardian Classicism and Tudor Revival. Some of the largest, most elaborate buildings in Sandy Hill are located in the HCD, including Stadacona Hall which represents the provision of large lots for "villa residences" at the time of subdivision and illustrate the early character of the neighbourhood in the 19th century.

The Wilbrod/Laurier HCD is significant for its association with the development of Sandy Hill as an upper-middle class neighbourhood that was home to many politicians and senior civil servants. In particular, the HCD was the home of several Prime Minister including Sir John A. MacDonald, Sir Wilfrid Laurier, William Lyon MacKenzie King and Lester B. Pearson.

Description of Heritage attributes:

The following heritage attributes embody the heritage value of the Wilbrod/Laurier Heritage Conservation District as an example of the early residential development of Sandy Hill:

- Eclectic mix of architectural styles including Queen Anne Revival, Italianate, Gothic Revival, and Edwardian Classicism;
- Primarily single detached residential character;
- Predominantly two to three storey building height;
- Consistent use of building materials including red and buff brick, limestone and wood;
- Large covered, open front porches and verandas;
- Generous front lawns with shrubs and trees and some low front yard fences;
- Consistent side yard setbacks providing space between buildings;
- Historic street layout and lot pattern;
- Mature deciduous street trees and boulevards between the curb and street in some locations;
- Large “villa residences” including Stadacona Hall, 395 Laurier Avenue East, 400 and 407 Wilbrod Street, 453 Laurier Avenue East; and
- Strathcona fountain in its associated landscape at the top of a hill in Strathcona Park.

4.3 Management Guidelines

The Wilbrod/Laurier Heritage Conservation District has been designated since 1982 and has retained much of its historic fabric. The management guidelines in this section are intended not only to retain historic fabric, but also to manage the change that is inevitable in the HCD. The guidelines are arranged into four sections:

1. Guidelines for Category 1, 2 and 3 buildings.

2. Guidelines for Category 4 building.
3. Guidelines for Infill.
4. Guidelines for Streetscape and Public Realm.

The Guidelines for Category 1, 2, and 3 buildings encourage retention and conservation of existing historic buildings and provide guidance on alterations and additions to historic buildings. The Guidelines for Category 4 buildings provide guidance on alterations and demolition of non-contributing buildings in the HCD.

Presently, there are no vacant lots in the Wilbrod/Laurier HCD but vacant lots could be created through demolition of non-contributing buildings, fire or other disaster. The guidelines for infill are intended to guide new development in the HCD or new buildings on properties left vacant through the loss of an historic building to fire or natural disaster.

Finally, the streetscapes of Wilbrod Street and Laurier Avenue are important in defining the heritage character of the HCD and the guidelines for streetscape and public realm provide guidance in alterations and enhancements to these areas.

Technical Guidance

The City of Ottawa adopted the Parks Canada Standards and Guidelines for the Conservation of Historic Places in 2008 and these will be applied in conjunction with the guidelines in this document.

Additional technical guidance for restoration projects can be found online in the United States National Parks Service Preservation Briefs which provide detailed 'how-to' briefs on various elements of restoration (ie. Masonry, woodwork, metal).

Staff in the Heritage Section can also provide guidance and advice on specific projects.

Building Evaluation

A building by building inventory of all buildings in the HCD was completed and all buildings were given a score. The score ranges for each category are:

- Category 1: 70-100
- Category 2: 55-69
- Category 3: 40-54

- Category 4: 0-39

4.4 Guidelines for Category 1, 2 and 3 Buildings

Category 1, 2, and 3 buildings are considered to be contributing buildings in the heritage conservation district and are important to maintaining the overall character of the HCD.

4.4.1 General Guidelines

1. Ongoing maintenance of contributing buildings is strongly encouraged as it prevents deterioration of heritage attributes and is the most cost-effective means of preserving heritage character.
2. Repair and restoration of heritage attributes is preferable to replacement.

4.4.2 Demolition and Relocation

1. Demolition of contributing buildings will not normally be supported.
2. Any application to demolish a building in the HCD must be accompanied with plans for a replacement building.
3. Where a building is approved for demolition, the building must be recorded at the direction of Heritage staff and the information should be deposited at the City of Ottawa Archives. In addition, consideration should be given to salvaging historic materials as the building is demolished.
4. The relocation of contributing buildings will not be supported except in extraordinary circumstances.

4.4.3 Roofs and Chimneys

1. Every effort should be made to retain original roofing materials (ie. cedar, slate) where possible.
2. Where the original roofing material is missing, property owners are encouraged to restore the roof to its historic material.
3. Where historic roofing materials cannot be retained, modern roofing materials such as asphalt shingles may be considered.
4. Original rooflines (gable, hip, gambrel, flat, etc.) must be maintained.
5. New dormer windows should be located on the rear roof slope possible.

6. The addition of solar panels may be permitted. Wherever possible, solar panels should be installed in a manner that will not impact the heritage fabric of the building if they are removed. In addition, solar panels should be located on the rear slope of the roof or on a flat roofed portion of the building so that they are not obvious from the historic streetscape.
7. New eaves troughs and downspouts may be permitted if required to solve drainage issues, but should be located in an inconspicuous location and installed in a way that does not damage the building. Property owners must consult heritage staff prior to installation.
8. Chimneys are important heritage attributes of historic buildings. Historic chimneys should be retained and maintained on a regular basis. Non-functioning chimneys should be capped and retained.

4.4.4 Cladding

1. Original cladding should be conserved and maintained. Restoration of historic cladding is preferable to replacement.
2. If cladding requires replacement it must be replaced in kind. The material, form, dimensions should all be replicated. Only deteriorated portions should be replaced. Replacement with modern cladding material (ie. vinyl or metal) is not permitted.
3. Removal of inappropriate cladding material (ie. vinyl siding) and restoration of the historic cladding material is encouraged.
4. Wood siding should be painted.
5. Historic stucco should be repaired or replaced in kind with a traditional three coat application. Replacement synthetic stucco or Exterior Insulation Finishing System (EIFS) is not acceptable.
6. The repointing of historic masonry is complex and must be undertaken by an experienced mason. New mortar must match the original in colour, pointing method and composition (soft, lime rich mortar rather than a cement based mortar).
7. Existing unpainted brick should not be painted.
8. Cleaning of brick and stone buildings should be undertaken using gentle and non-abrasive methods. Sandblasting is not an appropriate method to clean brick or stone. Property owners must consult with heritage staff prior to cleaning of masonry.

4.4.5 Windows

Windows are an integral part of the historic character of a building. The size and placement of windows are known as the fenestration pattern. The material and profile of individual windows is also important. The profile includes the construction, operating mechanisms, sill profile and width and design of the window frame. Some windows have been replaced over time, but where original windows remain, they should be retained.

Well maintained historic windows can last much longer than contemporary replacements. There are practical and economical approaches that can be taken to repair historic windows including painting, re-puttying or caulking, and weather stripping. Heritage staff can provide advice on appropriate methods of restoration for historic windows and appropriate replacement windows as necessary.

1. Original wood windows and storm windows should be retained. Energy efficiency can be achieved with existing windows through the restoration of the windows and the installation of weather stripping and appropriate exterior or interior wooden storm windows.
2. Repair and restoration of historic windows and doors is preferable to replacement. Only those windows or doors that are beyond repair should be replaced.
3. Replacement windows should match the historic windows in size, shape, materials and divisions. Where no documentary evidence of the original windows exists, replacement windows should be based on local examples in similar houses as opposed to falsely replicating windows to evoke a particular historic style.
4. The replacement of inappropriate newer windows and doors with more compatible units is encouraged.
5. Vinyl windows will not be permitted. Metal clad wood windows may be approved in special circumstances.
6. The shape and size of existing window and door openings should be retained.
7. The fenestration pattern must be maintained. Where a new window opening is required, it must be located in a discreet area and follow the rhythm and scale of the historic pattern.

4.4.6 Doors and Entrances

1. Existing historic doors should be retained and repaired.

2. The size, scale and proportions of existing doors and door openings will be preserved.
3. Where replacement is required, replacement doors must replicate the historic door as closely as possible.
4. The pattern and arrangement of the entrance must be retained including doors, sidelights and transom windows.
5. New entrances should not be introduced on the street facing façade.
6. The replacement of inappropriate modern doors with historically accurate doors is encouraged.

4.4.7 Foundations

1. The original foundation material should be maintained and conserved. Repair and restoration of original material is preferred over replacement.
2. New surfaces or coatings such as parging that alter the appearance of the foundation are not permitted.
3. Repointing of stone foundations is complex and must be undertaken by an experienced mason. New mortar must match the original in colour, pointing method and composition (soft, lime rich mortar rather than a cement based mortar).

4.4.8 Porches and Verandas

1. Front porches are an integral part of the heritage character of the HCD. All elements of an historic porch including decorative elements such as brackets and railings should be conserved and maintained.
2. The complete removal of historic porches will not be permitted.
3. Where a porch has been neglected or is badly deteriorated, it should be restored rather than replaced. If it is beyond repair, it should be replaced in kind with the same materials, style, and size. For instance, the replacement of a wood column with a fibreglass column is not appropriate.
4. All wood should be painted.
5. Where a component of the porch such as a bracket, railing, post, baluster or column has deteriorated beyond repair, it should be replaced in the same style, material, and proportions.

6. If a property owner wishes to reinstate a missing porch, the design should be based on documentary evidence (ie. historic photographs). If no such evidence exists, the porch should take cues from local examples on similar buildings.
7. If changes to railing heights are required to meet the standards of the Building Code, additions should be made to existing railings in the form of a contrasting but sympathetic horizontal railing. Property owners are encouraged to contact a heritage planner for guidance.

4.4.9 Decorative Features

The architectural styles of the late 19th and early 20th centuries featured extensive use of decoration including decorative bargeboard (gingerbread) in the gable ends of a roof, finials, decorative brick work and terra cotta. These elements contribute significantly to the overall style of a building and ongoing maintenance can ensure their protection and longevity.

1. Decorative architectural features that contribute to the heritage value of the building should be restored and retained wherever possible.
2. Decorative wood elements should be maintained regularly to ensure that areas of water penetration are found and repaired.

4.4.10 Garages and Accessory Buildings

1. Historic carriage houses and garages are present in the HCD and should be retained and restored wherever possible.
2. New garages and accessory buildings should be located in the rear yard and should be designed to complement the heritage character of the HCD.

4.4.11 Paint Colour

Paint colour is not regulated under the *Ontario Heritage Act* but this section provides advice on choosing appropriate paint colours.

1. If the original exterior colour scheme of the building is still intact it should be retained. Repainting should be with colours based on the original.
2. If a property owner wishes to determine the original colours of their house, paint scrapings from inconspicuous areas may reveal the history of the paint on the house.
3. Only colours associated with the era in which the building was built should be used. For colour palettes, contact a Heritage planner.

4. Many buildings feature two or three paint colours to highlight various details in the decoration. Typical colours included cream, white, olive green, gold, pale green, gray, and ochre red.
5. Historical colour palettes are available from some of the major paint manufacturers. These colour schemes are largely based on research in the United States but can provide a starting point for colour choice in Canada. Advice on specific colours can be provided by staff in the Heritage Section.

4.4.12 Landscape and Setting

1. Properties in the HCD were frequently delineated with low front-yard fences. Fences two metres and lower are appropriate to the HCD and should be constructed of painted wood or decorative metal or as a stone wall topped with metal or wood.
2. Linear walkways perpendicular to the sidewalk are common in the HCD. These walkways are generally narrow (approximately one metre) and lead directly to the bottom of the front steps. Where a grade change is present concrete or stone steps are a typical characteristic of this walkway. Existing walkway patterns should be retained and restored where appropriate.
3. Front yards consist of primarily soft landscaping, typically a lawn. To maintain this character, patios or other hard surfacing in the front yard are strongly discouraged.
4. Lot sizes in the HCD are generous and there are a number of significant “villa residences” found in the HCD. The setting of a grand house in a landscaped setting contributes to the heritage character of the HCD. The existing lot pattern and landscape should be protected in any future development.
5. Driveways are present throughout the HCD but should not overtake or detract from the front elevation of the house. New driveways or widened driveways are discouraged.

4.4.13 Additions to Category 1, 2 and 3 Buildings

1. Additions to contributing buildings must be sympathetic to the existing building, subordinate to, and distinguishable from the original. Additions should be compatible with the historic building in terms of massing, facade proportions, rooflines and fenestration patterns. Falsifying a past architectural style in a new addition is strongly discouraged.

2. New additions will not result in the removal or obstruction of heritage attributes of the building or the HCD.
3. The height of any addition to an existing building must not exceed the height of the existing roof.
4. Additions should generally be located in the rear yard.
5. New additions should respect the existing wall to window ratio and proportion of the existing building.

4.4.14 New multiple units in existing single family houses

Heritage designation cannot regulate the use of a building, and generally, the conversion of an existing single family house in the HCD does not affect the cultural heritage value of the HCD. The adaptive reuse of large historic single detached houses into multiple dwelling units is often a good way to protect and give new life to significant heritage buildings. However, additions or modifications to a house that increase the floor area for conversion to a multiple unit dwelling must be approached with caution, as these can fundamentally change or destroy heritage character.

The use of buildings is regulated through the Zoning By-law. The section below is intended to provide guidance regarding exterior changes that might be required to convert a single family house into a multi-unit dwelling. The intention of these guidelines is to ensure that the conversion will not negatively impact the architectural character of the building.

1. Exterior alterations to the building that are required to convert the building to a multi-unit dwelling must not result in the loss of heritage fabric or negative impacts on the heritage character of the building or the streetscape.
2. Alterations to the building, as required by the Ontario Building Code must be accommodated within the interior of the building wherever possible. Where new exterior staircases or doors are required, they should be located at the rear of the building and designed in a manner that is sympathetic to the character of the HCD.
3. New utility metres added to the exterior of the building must be discreetly located and should not obstruct the front facade of the building.
4. If an addition is proposed as part of the conversion, the addition must meet the guidelines outlined in section 4.4.13.

4.5 Guidelines for Category 4 Buildings

Buildings identified as Category 4 do not contribute to the cultural heritage value of the heritage conservation district. These buildings may be newer buildings or historic buildings that have been significantly and irreversibly altered over time. Guidelines for these buildings are necessary because alterations or demolition of these buildings has the potential to impact the cultural heritage value of the HCD.

4.5.1 Demolition

1. Generally, there is no objection to the demolition of Category 4 buildings where an appropriate replacement building is proposed.
2. Any application to demolish a building in the HCD should be accompanied with plans for a replacement building.

4.5.2 Alterations and Additions

1. Alterations and additions to non-contributing buildings should contribute to and not detract from the heritage character of the District.
2. Alterations and additions to non-contributing buildings should be of their own time and not attempt to recreate a historical architectural style.
3. Alterations and additions to non-contributing buildings should be designed to be compatible with the contributing buildings of the District and in particular the streetscape, in terms of scale, massing height, setback, entry level, materials and windows.
4. If the roof profile of a Category 4 building is altered the new profile should be designed so that the apparent height of the building is compatible with that of its neighbours.

4.6 Guidelines for Infill

Presently, there are no vacant lots in the Wilbrod/Laurier HCD but vacant lots could be created through demolition of non-contributing buildings, fire or natural disaster. The guidelines in this section are intended to ensure that new buildings in the HCD contribute to its character and are consistent with the goals of the HCD.

1. New buildings will contribute to and not detract from the heritage character of the district.

2. New building should be of their own time and not attempt to replicate a historic style, but must be sympathetic to the character of the HCD in terms of massing, facade proportions, rooflines, cladding materials and the fenestration pattern.
3. Any new residential development in the Wilbrod/Laurier HCD should be in keeping with the traditional scale of residential buildings in the district. New construction should match the immediate neighbours in terms of setback, footprint, and massing.
4. Windows in new buildings should be vertically aligned from floor to floor in keeping with the historic character of the HCD.
5. White vinyl windows and horizontal sliding windows are not appropriate to the character of the HCD and should not be used.
6. Cladding materials should reflect the character of the HCD. Appropriate materials include stucco, brick, natural stone, wood siding or fibre cement board.

4.7 Guidelines for Streetscape and Public Realm

1. Existing block and street patterns must be retained in any new development.
2. Existing street trees should be preserved and new street trees of appropriate species should be planted to ensure the continuity of the streetscape.
3. Boulevards should be planted with trees and grass but other low shrubs or flowers that are subordinate to the adjacent street trees may be appropriate.
4. Historically, street lighting in Sandy Hill consisted of electric light fixtures extending from wooden poles. New street lighting should be contemporary in design but should reflect the historic street lighting in the neighbourhood.

4.8 Alterations that do not require a heritage permit

The following are minor alterations that do not require a Heritage Alteration Permit under the *Ontario Heritage Act*:

- Interior alterations.
- Painting/paint colour.
- Regular on-going building maintenance such as repointing and foundation repairs.

- Repair or restoration, using the same materials, of existing features including roofs, exterior cladding, cornices, brackets, columns, balustrades, porches and steps, entrances, windows, foundations and decorative wood, metal or stone.
- Alterations to soft landscaping.