

**Cultural Heritage Impact Statement  
231 Cobourg Street, Ottawa**



*Image courtesy of Ten 2 Four Architecture*

Report Prepared for: **Ten 2 Four Architecture Inc.**  
RMA Project No.: **17008**  
Date: **November 22, 2017**

*Report Prepared by:*



**ROBERTSON MARTIN**  
ARCHITECTS

**Contents**

A. Introduction ..... 2  
B. General Information ..... 3  
C. Current Conditions/ Introduction to Development Site..... 4  
D. Background Research and Analysis ..... 5  
E. Statement of Significance ..... 8  
F. Description of the Proposed Development ..... 11  
G. Impact of Proposed Development ..... 13  
H. Alternatives and Mitigation Strategies ..... 17  
I. Conclusion ..... 19  
K. Glossary..... 20

- Annex A** Existing Conditions
- Annex B** Design Package R2
- Annex C** City of Ottawa Review Comments & Response
- Annex D** Heritage Survey and Evaluation Form
- Annex E** Wilbrod/Laurier HCD Plan

## **A. Introduction**

Robertson Martin Architects (The Consultant) was retained in November 2016 by Ten 2 Four Architecture Inc. (the Client) to provide a *Cultural Heritage Impact Assessment* (CHIS) for a proposed development at 231 Cobourg Street, Ottawa (*the Site*).

*Section 4.6.1* of the City of Ottawa *Official Plan* has policies that outline when a CHIS is required, and which will evaluate the impact of a proposed development on cultural heritage resources when development is proposed that has the potential to:

- Adversely impact the cultural heritage value of properties designated under *Part IV* of the Ontario Heritage Act (OHA); and
- **Adversely impact the cultural heritage value of districts designated under *Part V* of the OHA.**

In addition:

- **A CHIS may also be required for development applications adjacent to or within 35 meters of designated buildings and areas; and**
- **A CHIS is required when demolition is proposed.**

The Uganda High Commission Church building located at 231 Cobourg Street is located within the northeast corner of the *Wilbrod Laurier Conservation District Part V* of the OHA. It is the impact of the development proposal within the district that has the potential to adversely impact a heritage resource - and is the basis for the requirement of this CHIS.

The Consultant has been provided with copies of the revised development proposal plans prepared by Ten 2 Four Architecture Inc., dated November 22, 2017. This CHIS has been revised with the understanding that the actual development proposal consists of the design as outlined in the drawings provided in *Annex B*.

## B. General Information

### Existing Zoning

The client proposes the demolition of the existing (converted residential) office chancery building and the construction of a new purpose-designed small chancery building, on the footprint of the existing building. The City of Ottawa Comprehensive Zoning By-law (2008-250) designates the area of the subject property as **R4M[481]** (*Residential Fourth Density, Subzone M*). The *Exception 481* of the Zoning By law permits an office limited to a diplomatic mission subject to that office being restricted to a dwelling converted for that use. The demolition and reconstruction of this office would not meet the provision regarding conversion and will require relief from the by law through a Minor Rezoning Amendment.

The zoning has setback and height restrictions to ensure compatibility with surrounding areas.

### Heritage Designation

The Chancery building falls under *Part V* of the OHA because it is located within the *Wilbrod/Laurier Heritage Conservation District*. According to the City of Ottawa *Sandy Hill East Conservation District Building Evaluation Map*, the property is rated as a *Category 4*, although the *Sandy Hill Heritage Study* evaluates the property at 44/100 with *Category 3* Heritage Status. The interiors of the building of the building are excluded from the evaluation.

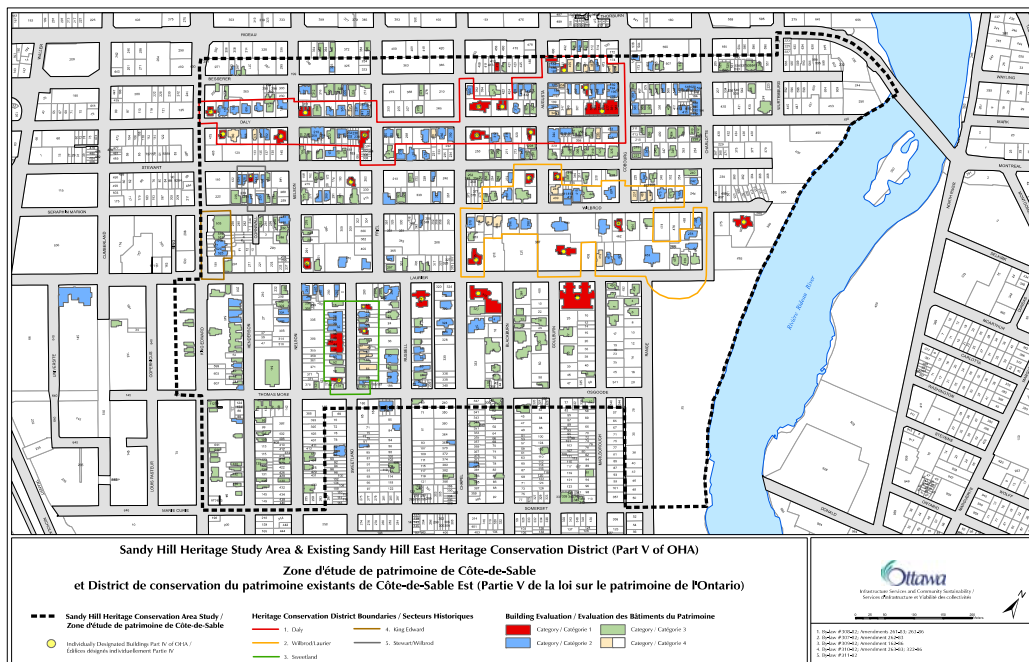


Figure 1: Sandy Hill Heritage Conservation District. (map courtesy of City of Ottawa)

### **C. Current Conditions/ Introduction to Development Site**

The property is a purpose-built apartment building dating from around 1945 that has been converted to office institutional embassy use c. 1985, which is reflected in the zoning provisions. The neighborhood character is primarily residential, interspersed with many embassy properties, including Austria, France, Guinea, China, Bulgaria, Russian Federation and the Sudan, among others.

The south side of Wilbrod Street, in the vicinity of the subject property, may be characterized as rather disjointed 3- 4 storey urban fabric, with no consistency in lot sizes, widths, setbacks, or building styles. There is a mix of large converted residential embassy buildings and, most notably, an anomalous 10-storey apartment building to the south east.

The north side of Wilbrod Street, in the vicinity of the subject property, has more intact urban fabric, with better consistency in lot sizes, widths, setbacks and more consistent 3-4 storey massing and building styles. Again, there is a mix of large converted residential embassy buildings and larger heritage homes, converted to residential apartments.

Cobourg Street terminates at Wilbrod at the south and extends northwards to Rideau Street. The subject property is on a very short section of street; the narrow end of the block. It faces across the street at the side yard of 455 Wilbrod, which is screened with tall cedar hedges and to the northwest at 228 Wilbrod, a 1920s red brick residence. To its immediate north at 225 Wilbrod, there is a simple 1970s era residential home, with materiality and detailing out of character with the neighborhood.

The existing two storey flat roofed building sits tight to the western side of the flat site, leaving little space for grassed landscaping and low shrubbery. An entrance canopy extends over the property line. To the north is a paved parking area. Along Wilbrod, two mature street trees screen the building, whose setback matches the adjacent properties. The eastern side abutting the neighbor has a cedar hedge screen.

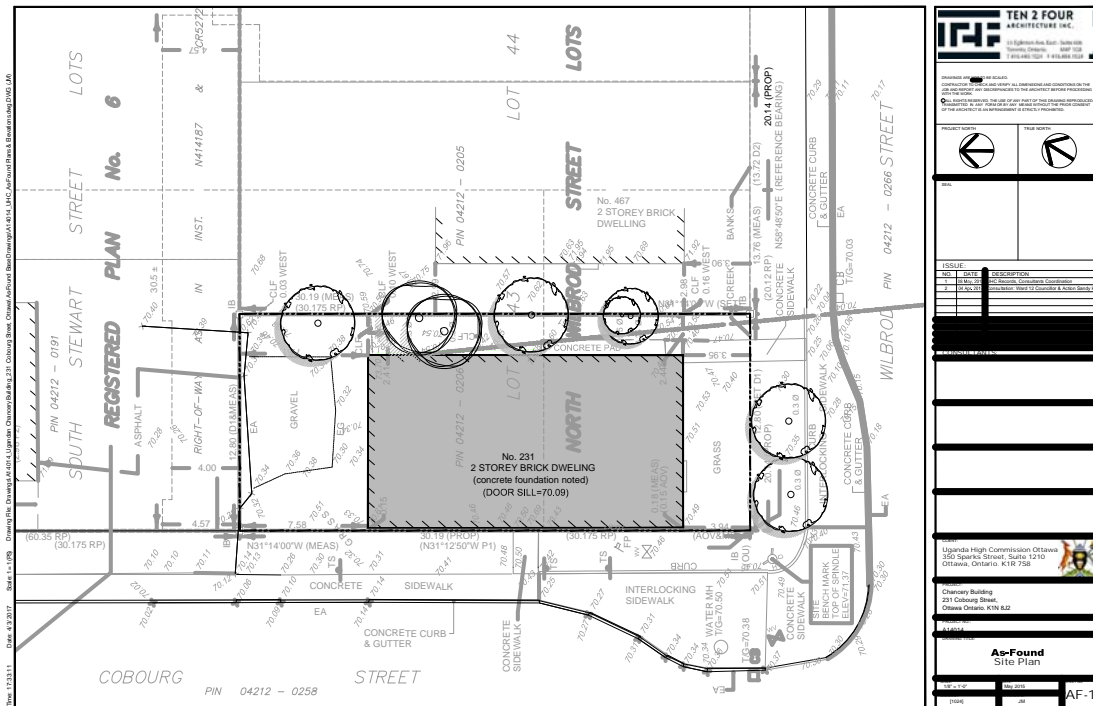


Figure 2: As Found Site Plan.

## D. Background Research and Analysis

### Research and Methodology

The methodology used in the preparation of this assessment includes review and reference to the following:

- Revised development drawings prepared by Ten 2 Four Architecture Inc., dated November 22, 2017;
- Visits to the site and surrounding areas;
- *Heritage Survey and Evaluation Form*, City of Ottawa, April, 2007;
- *Wilbrod/Laurier Heritage Conservation District Plan*, City of Ottawa, April, 2015;
- *The City of Ottawa Official Plan*;
- *Standards & Guidelines for the Conservation of Historic Places in Canada*, Parks Canada; and
- *A Guide to Preparing Cultural Heritage Impact Statements*, prepared by the City of Ottawa, Draft, March 2012.

### Site Analysis and Evaluation

Sandy Hill is an important, primarily residential, neighborhood close to the downtown core of Ottawa. It is bordered by the Rideau River and the University of Ottawa on its east and west sides, by the Queensway to the south and Rideau Street to the north. The growth of the university and the resulting pressures on the adjacent stable mature neighborhoods, combined with the site's proximity to the downtown core of Ottawa, have attracted new development that, in some instances, is disruptive to the prevailing character.

Although the large portion of Sandy Hill community was studied for the *Conservation Study Area*, only certain portions were identified as *Heritage Conservation Districts* and, additionally, many *Category 2* and *3* plus some individually designated *Part IV* buildings fall outside these districts. The result is a rather patchwork effect of heritage protection. Currently, the City of Ottawa is undertaking a Phase II of the Sandy Hill Heritage Study, with additional areas under consideration for designation as *Heritage Conservation Districts*.

As indicated in the *Heritage Survey and Evaluation Form*, the existing building is assessed as 'modestly compatible with the block in which it sits', and somewhat out of character with the prevailing pitched roof structures along Wilbrod and Cobourg Streets. The two storey flat-roofed structure, constructed circa 1945, is not original to the District, itself having replaced an original smaller 2 ½ storey pitched roof structure dating to around 1912.

The red brick building style is fairly atypical, detailed in a symmetrical low-relief and Federal/Classical style. An entrance canopy has been clumsily added to the original classical entrance. Windows are simple 6-over-6 and 8-over-8 double-hung style framed with shallow decorative brick recesses and stone sills. Brick quoins and a corbelled parapet provide some relief in a mostly flat façade.

The Main Floor is elevated from the street approximately six risers; given the tight constraints of the Entry, the site and building configuration, providing barrier free access is highly problematic.

The existing building is in poor condition as indicated by a *Structural Assessment Report* and a *Designated Substance and Hazardous Materials Survey Report*. Geotechnical issues have resulted in differential settlement and cracking of the exterior masonry and mould throughout the building, arising from a breach in the building envelope, have been evaluated as significant and not practically correctable by the design team.

### Existing Development Guidelines

The City of Ottawa has many policies governing development of, and in proximity to, heritage resources. These are described in *Section 4.6.1* of the official plan. The policies relevant to this proposal are listed below:

- 1.c.(The proposal must) Demonstrate that the proposal will not adversely impact the defined cultural heritage value or the heritage attributes of the property;
9. When reviewing applications for zoning amendments, site plan control approval, demolition control, minor variance, or the provision of utilities affecting lands/properties adjacent to or across the street from a designated heritage resource, adjacent to or across the street from the boundary of a heritage conservation district, or within heritage conservation district, the City will ensure that the proposal is compatible by: [Amendment 14, September 8, 2004] [Amendment #76, OMB File #PL100206, August 18, 2011]
  - a. Respecting the massing, profile and character adjacent to or across the street from heritage buildings; [Amendment #76, August 04, 2010]
  - b. Approximating the width of nearby heritage buildings when constructing new buildings facing the street;
  - c. Approximating the established setback pattern on the street;
  - d. Being physically oriented to the street in a similar fashion to existing heritage buildings;
  - e. Minimizing shadowing on adjacent heritage properties, particularly on landscaped open spaces and outdoor amenity areas;
  - f. Having minimal impact on the heritage qualities of the street as a public place in heritage areas;
  - g. Minimizing the loss of landscaped open space;
  - h. Ensuring that parking facilities (surface lots, residential garages, stand-alone parking and parking components as part of larger developments) are compatibly integrated into heritage areas;
  - i. Requiring local utility companies to place metering equipment, transformer boxes, power lines, conduit equipment boxes, and other utility equipment and devices in locations that do not detract from the visual character or architectural integrity of the heritage resource.



The *Wilbrod/Laurier Heritage Conservation District Plan* also outlines additional plan objectives:

- Identify and describe the cultural heritage value and heritage attributes of the HCD;
- Encourage the ongoing conservation and restoration of buildings of cultural heritage value in the HCD; and
- Provide a framework to manage change in the HCD in the future.

## **E. Statement of Significance**

NOTE: The full list of heritage district attributes is available in *Annex E – Wilbrod/Laurier Heritage Conservation District Plan*.

### Design (architectural) value:

231 Cobourg Street is an example of the Federal Classical style. Abbreviated from the *Heritage Survey Form*, the design value of the building is assessed on the following characteristics:

- symmetrical formal compositions;
- smooth facades with medium sized window apertures;
- brickwork with string courses, corbels and decorative patterns;
- wood double hung windows (6x6 and 8x8);
- Octagonal window above entry;
- classical detailing at entryway pediment.

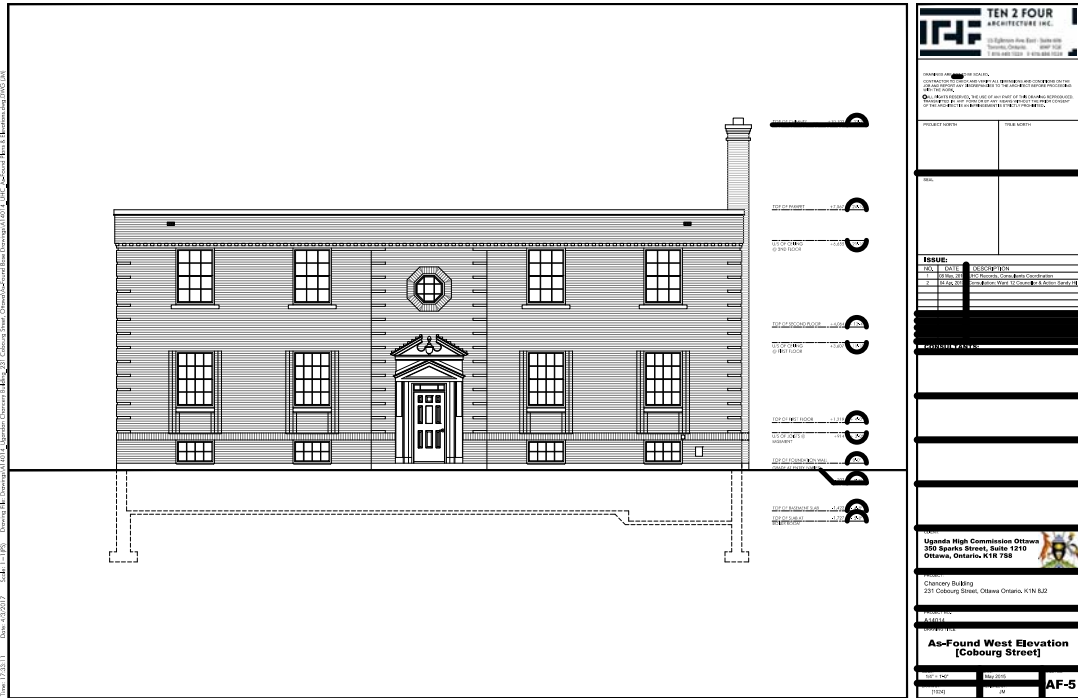


Figure 3: As Found West Elevation

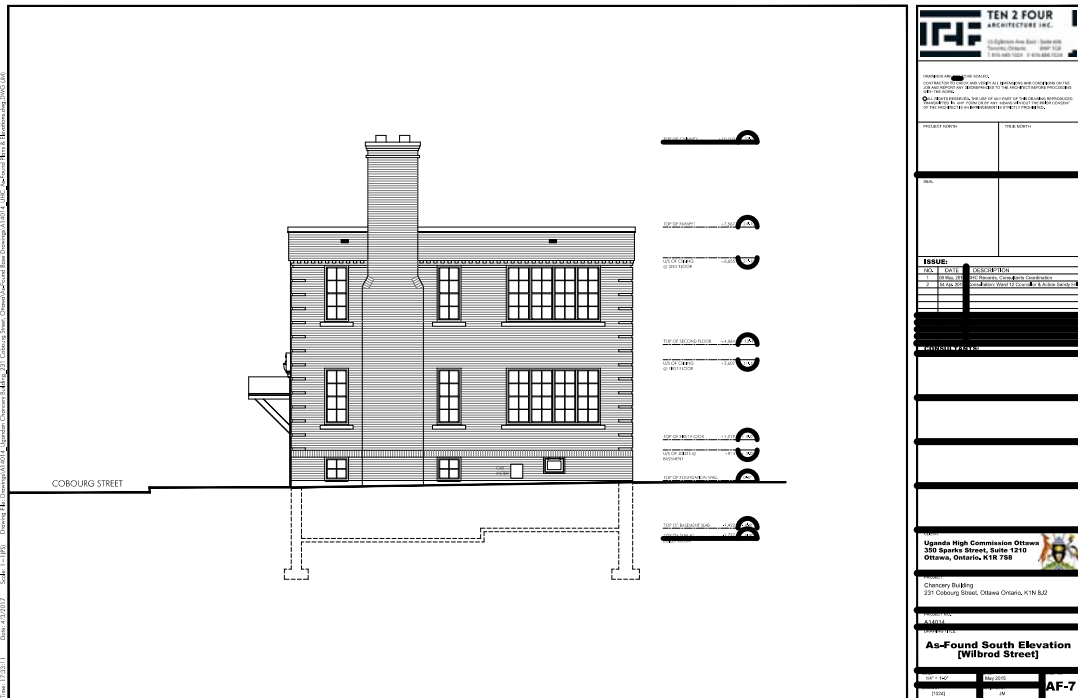


Figure 4: As Found South Elevation

Cultural & Historical value:

Abbreviated from the Conservation District Plan, the cultural & historical value of the property is based on the following characteristics:

- Its association with the development of Sandy Hill into a desirable residential neighbourhood;
- An excellent example of residential neighbourhood with key features including historic street pattern, consistent house to lot ratios, generous front yard setbacks and tree lined streets;
- Although not mentioned in the *City Heritage Survey Form*, correspondence received from the Community Association asserts that the building was owned by the wife of Lester B Pearson in 1954 and was home to the Pearsons from 1955-1958. Mr. Pearson won the Noble Prize in 1957. The City of Ottawa has undertaken further research using city directories and conversations with people in the neighbourhood and confirmed this information.

Heritage District Attributes:

Abbreviated from the Conservation District Plan, the relevant heritage attributes of the property and district are based on the following characteristics:

- An eclectic mix of architectural styles;
- Primarily residential character;
- Predominantly two to three storey building height;
- Consistent use of building materials including red and buff brick, limestone and wood;
- Large covered, open front porches and verandas;
- Generous front lawns with shrubs and trees and some low front yard fences;
- Consistent side yard setbacks providing space between buildings;
- Historic street layout and lot pattern;
- Mature deciduous street trees and boulevards between the curb and street in some locations.

Contextual value:

Abbreviated from the heritage survey form, the contextual value of the building is based on the following characteristics:

- Atypical compatibility with surrounding pattern of development; and
- Moderate contribution to the history and architecture of the neighborhood.

## F. Description of the Proposed Development

The redevelopment proposes demolition of the existing building and replacement with one of virtually identical footprint that matches the existing southerly and northerly setbacks. The south façade will align with the adjacent prevailing front yard setback of the buildings to the east along Wilbrod Street. The east façade’s set back from the property line will also provide a generous amount of landscaping behind the two existing mature trees to remain. Parking will be retained in the existing location but will be properly paved and contained with perimeter curbs.

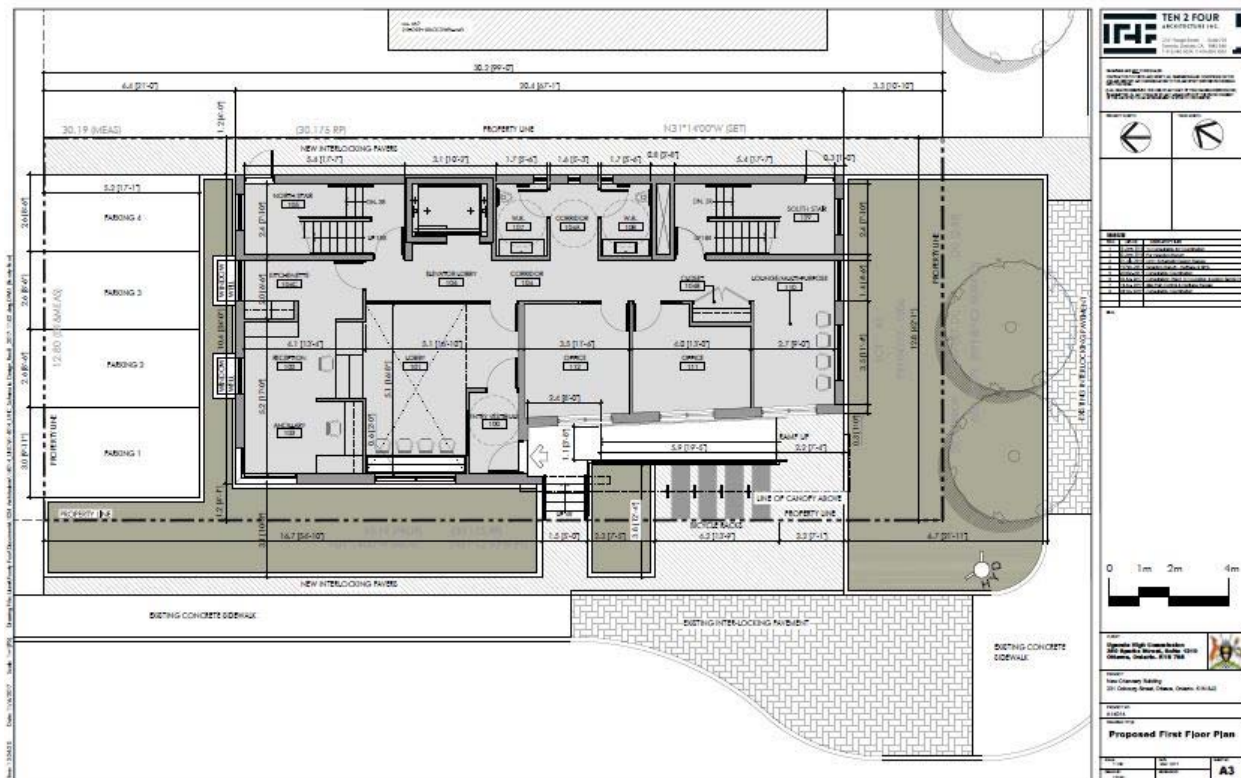


Figure 5: Proposed Site Plan

The two-storey flat roofed massing will be replaced with a three storey flat roofed massing slightly higher than adjacent buildings but still within the district’s prevailing range of two to three stories. The two-storey red brick massing of the original building, characteristic of the neighbourhood, will be retained floor the first two stories; dark grey porcelain, set back from the brick, will clad the third storey to tie-in more closely with the grey shingling found throughout the neighbourhood. The rooftop terrace and elevator projection is located away from both primary facades, limiting its visual presence.

To further reduce the visual impact of the proposed third floor volume, it has been set back approximately 1 metre from the edge of the second floor parapet along the south, west, and

north sides. The overhanging southwest angled corner serves to add an element of visual interest addressing the main intersection of Wilbrod and Cobourg streets.

An octagonal window echoes the original building feature on the west facade. Punched windows, based on a common module with protruding frames, and a small brise-soleil add a degree of shadow relief to the facades.



**Figure 6:** (Above) Proposed West Elevation

**Figure 7:** (Below) Proposed South Elevation



## **G. Impact of Proposed Development**

Our assessment attempts to identify any positive and negative impacts the proposed development may have on the heritage value of cultural heritage resources. Assessment is made by measuring the impact of the proposed works on the significance and heritage attributes defined in the background documents, and outlined in *Section E* of this CHIS. Specific to this proposal, the design proposal will be assessed against all three categories for designation (design value, historical value, contextual value).

Extracted from the City of Ottawa CHIS template, positive impacts of a development on cultural heritage resources typically include, but are not limited to (we have highlighted in bold those items deemed most relevant for consideration in this CHIS):

- restoration of a building or structure, including replacement of missing attributes,
- restoration of an historic streetscape or enhancement of the quality of the place,
- adaptive re-use of a cultural heritage resource to ensure its ongoing viability, and
- access to new sources of funds to allow for the ongoing protection and restoration of the cultural heritage resource.

Negative impacts include, but are not limited to:

- **Demolition of any, or part of any, heritage attributes or features,**
- **Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance of a building or structure,**
- **Shadows created that obscure heritage attributes or change the viability of the associated cultural heritage landscape,**
- Isolation of a heritage resource or part thereof from its surrounding environment, context or a significant relationship,
- Obstruction of significant identified views or vistas within or from heritage conservation districts,
- Obstruction of significant identified views or vistas within or from individual cultural heritage resources,
- **A change in land use where the change affects the property's cultural heritage value, and**
- **Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.**

### **For the proposal:**

The physical destruction of a heritage resource, in all or in part, is at all times the greatest risk to built heritage. In this sense, this development proposal does not fulfill this primary and most basic task of physical preservation per the *Standards and Guidelines*. However, the potential to positively impact, or not adversely impact, the defined heritage resource still exists within each of the categories of significance which have contributed to the conservation district.

### **Demolition**

Demolition of the existing building is proposed. The identified structural issues from foundation settlement and subsequent breach of the building envelope, resulting in extensive water penetration and development of mold throughout the building, have meant that the structure has not been suitable for habitation since 2014.

The extent of abatement required to remediate hazardous materials and substances, the repair and replacement of interior building components, electrical and mechanical system upgrades and the inter-related complications of all these processes, results in costs that are extremely prohibitive.

Test boreholes for geotechnical purposes, with an aim of stabilizing the foundations and basement slab, have shown that no suitable bearing surfaces exist for approximately 20 m in depth. Additionally, the water table is high, further complicating the waterproofing challenges.

The HCD guidelines encourage retention and conservation of *Category 1, 2, 3* buildings. Although there seems to be a discrepancy between the HCD map and the individual scoring sheet as to whether 231 Cobourg is a *Category 4 or 3*, based on what we know and assess, we are of the opinion that the individual scoring sheet errs in its numbers (e.g. stylistic influence of 10/15 and development context of 8/15 and landmark status of 5/10) and that the final score should be lower and more properly a *Category 4* building. Overall, we are of the opinion that this is a marginal building in terms of contributing to the district's heritage character.

In general, there are health and safety concerns that do not allow practical, cost-effective remediation or 'heroic measures' that might be justified with a high-value exemplar building. Combined with the programmatic requirements for the diplomatic mission that are larger than the existing structure can support, demolition of the building and replacement with a new purpose-built structure that addresses all of the above concerns and requirements seems reasonable and defensible. It should be noted that this approach is not that different than the existing building which itself replaced an earlier building, as part of the evolution of the district and cultural landscape.

Design (architectural) value:

231 Cobourg Street and its identified detailing and materiality is an example of the *Federal Classical* style, but the use of this style in the mid-1950s may be seen as a somewhat anomalous transplant from an earlier period (c. 1800) of architectural stylistic development in the United States and out of sync with the prevailing language in the conservation district. Although the Heritage Study gives *high-medium* scores under the architecture category, we are of the opinion that these are exaggerated and that the building features are not exemplars of either the period or the referenced style.

The reuse of an octagonal window above entry is seen as a small playful nod to the original building.

Similarly, the use of dark grey porcelain to clad the third floor is reminiscent of the predominant grey single roofing throughout the neighborhood and lends to the proposed development's thoughtful integration in the area.

Based on the proposed low profile and stepped massing on a corner lot, the shadow impacts are very minimal, contained to the rear yard of 467 Wilbrod.

Cultural & Historical value:

The proposal for demolition and replacement of the converted residential building with a purpose built small office building represents a break in the cultural & historical value of the property based on the following characteristics:

- Whereas the existing building was formerly residential and converted to office use, the new use will be a more permanent non-residential use in a primarily residential neighbourhood, albeit a continuation of a use that has existed for over three decades.

When comparing the existing footprint and massing of the converted residential building to what is proposed, the cultural & historical value of the property is not diminished based on the following characteristics:

- The Sandy Hill example of a residential neighbourhood with key features including historic street pattern, consistent house to lot ratios, generous front yard setbacks and tree lined streets will be maintained and in fact improved, with increased side yard setback and landscaping,



Heritage District Attributes:

The proposal for demolition and replacement of the converted residential building with a purpose built small office building, does not significantly diminish the heritage district attributes, based on the following characteristics:

- The eclectic mix of architectural styles will be maintained, with the replacement building a well detailed expression of contemporary design;
- The primarily residential character will be maintained, largely because the proposal maintains an existing (zoning exception) use;
- The predominantly two to three-storey building height in the district is maintained with the three-storey proposal;
- The consistent use of building materials including red and buff brick, limestone and wood is maintained in the replacement building;
- The proposal includes an open front porch along the west facade, albeit in a contemporary expression. This maintains the desirable street level animation;
- Generous front lawns with shrubs and trees and site grading and landscaping will be maintained and improved;
- Consistent side yard setbacks, providing space between buildings, will be maintained;
- The proposal respects the historic street layout and lot pattern; and
- The mature deciduous street trees and boulevards between the curb and street will be maintained.

Contextual value:

The proposal for demolition and replacement of the converted residential building with a purpose built small office building is assessed as not significantly diminishing the heritage district contextual value, based on the following characteristics:

- The atypical compatibility with surrounding pattern of development is not impacted with the design of the existing building and is somewhat improved with increased side yard setbacks and landscaping; and
- The existing building's very moderate contribution to the history and architecture of the neighborhood is lost; however, it in itself is a replacement building constructed in approximately the mid-point of Sandy Hill's development. The new building, in this sense, may be seen as part of the normal evolution of a district, whereby over time buildings will be replaced and/or renovated.
- The consideration that the building may have been the home of Prime Minister Pearson for a short period is not seen as significant. To our knowledge, Pearson's home was not a

factor in his work or figured prominently in his career accomplishments. It must be also noted that the *Events/Persons* component of a City Heritage Evaluation only accounts for 5 points out of 100; even if this this category were awarded the maximum, because of the Pearson association, the overall score would still be 48/100 (*Category 3*), due to low scores in other components of the overall heritage scoring.

## **H. Alternatives and Mitigation Strategies**

The CHIS must assess alternative development options and mitigation measures in order to avoid or limit the negative impact on the heritage value of identified cultural heritage resources.

Taken from the City of Ottawa CHIS template, methods of minimizing or avoiding a negative impact on a cultural heritage resource(s) include but are not limited to (we have highlighted in bold those items that may be relevant for consideration in this CHIS):

- **Alternative development approaches that result in compatible development and limit negative impacts,**
- Separating development from significant cultural heritage resources to protect their heritage attributes including, but not limited to, their settings and identified views and vistas,
- **Limiting height and density or locating higher/denser portion of a development in a manner that respects the existing individual cultural heritage resources or the heritage conservation district,** and
- **Including reversible interventions to cultural heritage resources.**

### **For the proposal:**

While the design proposal proposes demolition of the existing building, the replacement building's low massing, size and building features make significant efforts in relation to the existing heritage resource and its Design Value, Cultural & Historical Value, Heritage District Attributes, and Contextual Value.

The Consultant assesses that the primary risk to the heritage resource is the demolition and removal of the heritage resource from its context, and the disruption of its status as a converted residential building in a residential neighbourhood.

For reasons discussed above, and based on professional assessment of structural, geotechnical and environmental issues, we are in agreement with the proposal that the existing building may be demolished without significant impact to the heritage conservation district. The focus must now turn to the larger district heritage character to ensure that the replacement building is compatible and can fit well in its context. There are some relevant recommendations in the *Wilbrod/Laurier HCD Plan*, especially under *Section 4.5 Guidelines for Category 4 Buildings* which cover *Demolition*, *Section 4.6 Guidelines for Infill* and *Section 4.7 Guidelines for Streetscape and Public Realm*. We are of the opinion that the proposed development adheres extremely well to these provisions.

Strategies which could mitigate impacts to the heritage resource's contextual value will also serve to mitigate the impacts to its design value. In this particular instance, the two categories are intrinsically linked through an overall appreciation of the proposed building's massing and facades.

*Recommendation 1: Refinement of residential typology and scale at south.*

The institutional look of the design proposal on the south facade contrasts with the residential character on the block. Advancing the design to express a more distinctly residential typology, with some articulation to read at a residential scale, may help to preserve the residential character and improve the dialogue with the surrounding primarily residential context.

*Recommendation 2: Consider further refinement of the third-floor and roof access materiality.*

While the use of red brick for the lower floors is seen as appropriate and beneficial, the reinterpretation of dark grey materials for the third floor will need careful consideration to ensure the facade integrates well with the gray roofing materials of existing buildings in the surrounding neighbourhood. Additionally, the use of wood cladding for the roof access enclosure could use further refinement to ensure its visual compatibility with both the rest of the building and the surrounding neighbourhood. Further consideration and refinement of the material treatments in both of these areas is encouraged.

*Recommendation 3: Consider material expression of Entry Stair and Ramp.*

The current design evolution suggests a fairly thin exposed concrete retaining wall at the entry stair and barrier free ramp. The horizontal screen wall of the barrier free ramp appears to be an elegant way to hide the sloped ramp behind; however, some further consideration of the foundation wall, stair and ramp wall is encouraged to improve the appearance and/or make material connections to the stone foundations of adjacent houses.

## I. Conclusion

The proposed demolition of this former residential apartment structure, converted for office use over three decades ago, is regrettable but understandable given the structural, geotechnical and environmental issues, supported by thorough professional assessment.

The program of a small-scale office building, maintaining the same use as the existing, following the provisions of the *Wilbrod/Laurier Heritage Conservation District Plan* regarding *Demolition, Guidelines for Infill* and *Guidelines for Streetscape and Public Realm* is appropriate. We are of the opinion that the proposed development adheres extremely well to these provisions and the replacement building is assessed as being not detrimental to the cultural value of the larger conservation district heritage resource.

The overall massing of the development on a corner lot will maintain connections to the residential neighborhoods in the same manner as the existing building.

The increased westerly side yard setback, and maintaining northerly and southerly setbacks in alignment with the adjacent properties is appropriate and represent an improvement. The redesign of the entry stair landing forecourt contributes to landscaping and public realm space on this corner lot. All existing mature trees will be retained and additional landscaping added to what is a fairly bare flat site.

The material expression is contemporary in nature but makes references to prevailing material typologies in the district. The use of a red brick second floor datum line references the existing/original building, while demarcating the upper floor setback and material changes.

As the design is still quite schematic, further refinement of the design, prior to production of working drawings, is advised and specific recommendations are contained in this document.

Taken in balance and in its context, the development proposal is assessed as not being detrimental to District Character and overall, may be seen as a compatible approach for the heritage resource's identified Design (architectural), Cultural & Historical and Contextual Values.

Please do not hesitate to contact the undersigned should you have any questions or wish to discuss any aspect of this assessment.



**Robert Martin** OAA, MRAIC, CAHP, LEED AP

## **K. Glossary**

### **Adversely impact**

A project has the potential to “adversely impact” the cultural heritage value of a project if it; requires the removal of heritage attributes, requires the destruction of a cultural heritage resource, obscures heritage attributes, is constructed in such a way that it does not respect the defined cultural heritage value of a resource.

### **Built Heritage**

Includes buildings, structures and sites that contribute to an understanding of our heritage and are valued for their representation of that heritage. They may reveal architectural, cultural, or socio-political patterns of our history or may be associated with specific events or people who have shaped that history. Examples include buildings, groups of buildings, dams and bridges.

### **Cultural Heritage Resources**

Includes four components: Built Heritage, Cultural Heritage Landscapes, Archaeological Resources, and documentary heritage left by people.

### **Cultural Heritage Landscape**

Any geographic area that has been modified, influenced, or given special cultural meaning by people and that provides the contextual and spatial information necessary to preserve and interpret the understanding of important historical settings and changes to past patterns of land use. Examples include a burial ground, historical garden or a larger landscape reflecting human intervention.

### ***Preservation***

Preservation involves protecting, maintaining and stabilizing the existing form, material and integrity of an historic place or individual component, while protecting its heritage value.

### ***Rehabilitation***

Rehabilitation involves the sensitive adaptation of an historic place or individual component for a continuing or compatible contemporary use, while protecting its heritage value.

### ***Restoration***

Restoration involves accurately revealing, recovering or representing the state of an historic place or individual component as it appeared at a particular period in its history, while protecting its heritage value.