

Cultural Heritage Impact Statement

270 Buchan Road in Rockcliffe Park, Ottawa, Ontario

Submitted to: Angela Singhal
Prepared by: Lori Anglin, Cultural Heritage Specialist

February 2017

Cultural Heritage Impact Statement

270 Buchan Road in Rockcliffe Park, Ottawa, Ontario

1.	Introduction	1
1.1	CHIS Background	
1.2	Property Information	
1.3	Summary Descriptions	
2.	Heritage Conservation District Significance	6
2.1	Heritage Values	
2.2	Heritage Evaluation	
3.	Research and Heritage Resource Description	8
3.1	Interwar Subdivision Development	
3.2	Streetscape	
3.3	Landscape	
3.4	Historic Associations	
3.5	Architecture	
4.	Proposed Development	26
4.1	Environment and Landscape	
4.2	Architecture	
5.	Impact of Proposed Development	34
5.1	Grade I Property	
5.2	Heritage Attribute Impacts	
5.3	Correlation to HCD Guidelines	
5.4	Summary	
6.	Alternatives and Mitigation Strategies	45
7.	Conclusion	46

Appendices

- Appendix A: Development Proposal Summary
- Appendix B: Rockcliffe Park, Statement of Cultural Heritage Value
- Appendix C: 270 Buchan Road, Heritage Survey and Evaluation Form
- Appendix D: Property Character Chronology
- Appendix E: Historic Associations
- Appendix F: Tree Disclosure Report
- Appendix G: Documentary Resources
- Appendix H: Consultant Profile

1. INTRODUCTION

1.1 CHIS Background

In accordance with the City of Ottawa *Official Plan's* cultural heritage policies, a Cultural Heritage Impact Statement (CHIS) is required if a development “*has the potential to adversely affect the heritage conservation district*”¹ as well as when *demolition is proposed* in a heritage conservation district.

Lori Anglin (the Consultant²) was retained by Ms. Angela Singhal (the Client and property owner) to undertake a CHIS for the residential property at 270 Buchan Road in Rockcliffe Park, Ottawa, Ontario (hereafter also referred to as ‘the property’). The property is wholly within the Rockcliffe Park Heritage Conservation District, which is designated under Part V of the *Ontario Heritage Act*. As a part of the *Rockcliffe Park Heritage Conservation District Plan* (hereafter also referred to as ‘the *Plan*’), this property has been assessed as ‘Grade I’.³

The purpose of this CHIS is to identify the cultural heritage resources and related values that may be impacted by the proposed development, to describe actions that may reasonably be required to prevent, minimize or mitigate any negative impacts and to demonstrate that the proposal will not adversely impact the defined cultural heritage value of the Heritage Conservation District (HCD).⁴ The rehabilitation of the landscape and the construction of a single family dwelling collectively form the development proposal. This development proposal requires the demolition of the existing residential structure.

John K. Szczepaniak, Landscape Architect and Roderick Lahey Architect Incorporated have developed the proposed new designs. This CHIS has been written with the understanding that the development proposal is comprised of the designs shown in Appendix A: Development Proposal Summary.

Given that this development proposal seeks to demolish a building that is located on a property assessed to be ‘Grade I’, the property owner is extended no reasonable opportunity to present an alternate architectural development scenario. Arising from this, and the property owner’s commitment to a new, integrated landscape and architectural design, the City of Ottawa has been notified of an Appeal under subsection 41(4) of the *Act* against the Rockcliffe Park HCD Bylaw of 2016.⁵

¹ City of Ottawa, *Official Plan*, Section 4.6.1, Heritage Buildings and Areas

² See Appendix H for Consultant Profile

³ In *Rockcliffe Park Heritage Conservation District Plan Heritage Survey and Evaluation* (2010), two Grades are used (I or II), based on criteria and numeric values. The full *Heritage Survey and Evaluation Form* record is in Appendix C, and details are included in the report text.

⁴ City of Ottawa. *A Guide to Preparing Cultural Heritage Impact Statements*, Ottawa, Draft 2012

⁵ Notice of Appeal filed on 27 April 2016 by Soloway Wright LLP, File no. 23482-1074

1.2 Property Information

Property Address: 270 Buchan Road, Ottawa, Ontario K1M 0W5
Property Number: 042270025
Legal Property References: Lot 14 and Lot 15, Block: Buchan E, Plan M69
Area: 32,740 square feet (0.752 acres)
City of Ottawa Zoning: Residential First Density (General Urban Area) Subzone B

Current Owner: Ms. Angela Singhal
c/o Richcraft Properties
2280 St. Laurent Blvd., Suite 201, Ottawa K1G 4K1

Contact: angelas@richcraft.com
613 739 7111

1.3 Summary Description of the Development Site

1.3.1 Property

The property at 270 Buchan Road was conceived as a part of a 1930's subdivision plan. This plan was a response to a growing, interwar demand for new housing lots in (the former Village of) Rockcliffe Park. The subdivision plan was not fully realized, as notably, the Village Green now exists as a public park and not a series of separate residential lots as proposed in the development scheme.

An open space in the 1920's, by the 1950's, this property and its neighbouring sites had evolved to a character associated with the district: Cedar hedges at property lines, grassed lawns and mature trees (refer to Appendix D: Property Character Chronology). By 2013, the previous property owners of 270 Buchan Road had removed many of the original trees and shrubs that separated the home from the street.

Spatially, the two storey single-family dwelling is generally centered on the property. The principal façade faces westward, and the building is set back from the road and accessed by a paved circular drive with a 'spur' road to the garage, (the latter being integrated into the overall built form). The property is currently leased and the house is occupied.

The building's ground floor is generally at street level, and the site has a gradual slope to the east. There is an irregular change of level at the back or east façade, resulting in an elevated, building plinth on this side. The residence is built in a domestic style that is common to its period in Rockcliffe Park, with gable roofs, stone accents and dormer windows. The back elevation has been reconfigured and extended, increasing the livable floor area and introducing decorative elements.



Figure 1: Northwest perspective of 270 Buchan Road (2016)

1.3.2 Context

The property is located in a mix of institutional, recreational and residential land uses, and that is unusual for the Rockcliffe Park Heritage Conservation District (HCD), which is otherwise dominated and defined by streetscapes of single-family residences.

Buchan Road is configured in a broad 90-degree curve, which links Mariposa Avenue and Acacia Avenue. Four residences have Buchan Road addresses, and two corner sites on adjoining streets have Buchan Road driveway access. The road is not frequented by local through traffic, and would be very quiet were it not for its peak period use by vehicles shuttling children to and from school. Also associated with this institutional land use is the school's regular use of a high decibel audio broadcasting system, audible from any location on the property.

Three of the four Buchan Road properties are assessed to have 'Grade I' heritage value, with the Buchan Road streetscape environment awarded high value in the HCD.

Despite having an unobstructed and expansive street frontage, views of the property's principal building façade are remarkably limited given its siting on this curved part of Buchan Road. Depending on the season and foliage, there are six residences that have upper storey views of the side and/or rear elevations of 270 Buchan Road. Five of these properties share a part of the property's side or rear boundaries.

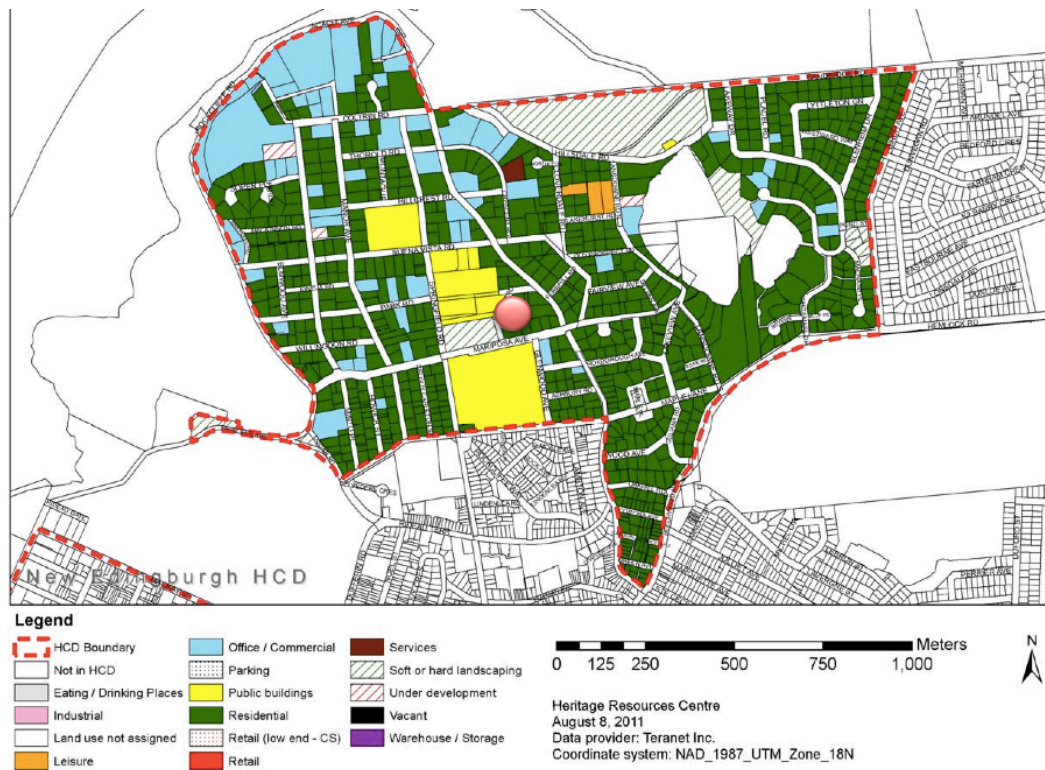


Figure 2: Plan showing 270 Buchan Road’s surrounding land uses
Green indicates residential, yellow is institutional and the hatched area is titled soft landscaping. The central ‘red button’ shows the property location. The blue areas represent office / commercial, however these are embassies that are residential in character. The base plan is from the “Heritage Conservation District Study” by the Heritage Resources Centre of the University of Waterloo, 2012 (p. 22)

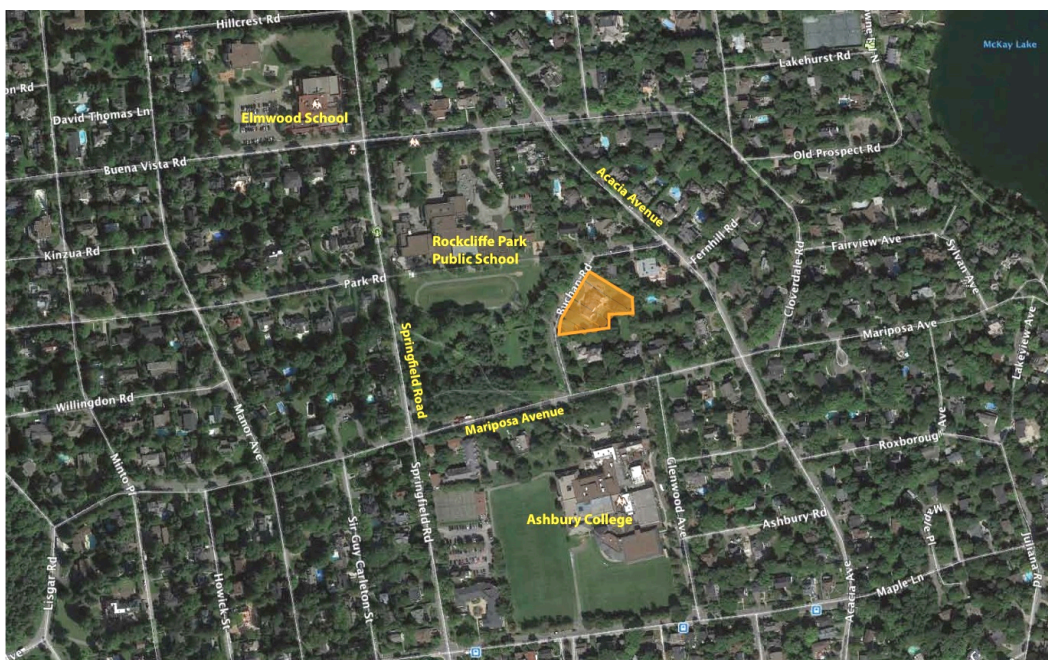


Figure 3: Aerial view: the property highlighted, centre (Google Earth, 2016)

1.3.3 Key Documents

Rockcliffe Park has been the subject of various studies, books and reports recounting the historical development of the ‘Village’ and useful to the understanding of its natural and cultural heritage. A full list of the CHIS documentary references is included in Appendix G: Documentary Resources. Documents that provide principles and policies that are key to the compilation of this CHIS include:

- *Rockcliffe Park Heritage Conservation District Plan* (undated, the current legal instrument and basis of the City of Ottawa by-law 2016-089, passed March 2016)
- *Diverse Heritage Survey and Evaluation Forms* for Rockcliffe Park properties, compiled from 2010 to 2012
- *Village of Rockcliffe Park Heritage Conservation District Study*, 1997 (basis for earlier Rockcliffe By-law 97-10).

Numerous property, building and HCD site inspections also informed the report.



Figure 4: Detail from the “Rockcliffe Park HCD Plan” (p. 37) showing Grade I (red) and Grade II (yellow) properties – 270 Buchan Road encircled

2. HERITAGE CONSERVATION DISTRICT SIGNIFICANCE

2.1 Heritage Values

The overarching intent of designating a heritage conservation district is to conserve it in a manner that respects its values. The *'Statement of Cultural Heritage Value'* is the foundation of the *Rockcliffe Park Heritage Conservation District Plan*. This statement is based on the *Rockcliffe Park Heritage Conservation District Study (1997)*⁶ and thus these seminal documents use the same basis for the defining district's heritage values.

The heritage value of the Rockcliffe Park Heritage Conservation District is centered on its significance as a cultural landscape in a temporal continuum:

*"Rockcliffe Park is a rare and significant approach to estate layout and landscape design adapted to Canada's natural landscape from 18th century English precedents ... it was laid out according to the principles of the Picturesque tradition in a series of "Park and Villa" lots ... The preservation of the natural landscape, the deliberately curved roads, lined with mature trees, and without curbs or sidewalks, the careful landscaping of the public spaces and corridors, together with the strong landscaping of the individual properties, create the apparently casual and informal style so integral to the Picturesque tradition..."*⁷

The 'picturesque tradition' is partly founded on creating a sense of living in harmony with nature. The Village of Rockcliffe Park was designated as a Heritage Conservation District in 1998, in recognition of the cultural heritage value that is derived from its picturesque country atmosphere. As described in the 1997 *Heritage Conservation District Study*,

*"the architectural character of individual residential and institutional properties is secondary to their landscape settings. A diverse collection of styles and periods is represented, tied together by a shared approach to site development and a self-conscious development of village character".*⁸

In fact, the policy framework for the *Plan* was set over two decades ago, with the still relevant statements from the 1993 *Rockcliffe Park Secondary Plan*, as follows:

"The Village has been developed with a sensitivity to scale, massing, and density of housing in a park-like setting... This balance of residential development and the natural environment has created a community that is distinctive in the surrounding urban context ...

⁶ *Rockcliffe Park Heritage Conservation District Plan*. p. 9

⁷ *Ibid. Extracts from the 'Statement of Cultural Heritage Value'*. p. 9-10

⁸ *Village of Rockcliffe Park Heritage Conservation District Study*.

Council shall encourage the retention of grounds, gardens, trees and plantings associated with designated heritage properties and districts which contribute to their integrity and sense of setting on their own lots as well as on the public streets.”⁹

The full “*Statement of Cultural Heritage Value*” from the *Rockcliffe Park Heritage Conservation District Plan* is included as Appendix B.

2.2 Heritage Evaluation

The core values and significance of the cultural landscape of Rockcliffe Park has been consistent over many years. However, the *Plan* substantially deviates from earlier studies by introducing a property-by-property inventory. The inventoried property assessments, with numeric grading for each property, present a fundamental and substantial shift in the interpretation and approach for conservation of the Rockcliffe Park HCD. This introduces levels of legal protection for buildings based on a property’s overall, numeric score (for properties scoring under 50, a case may be presented to the City of Ottawa for building demolition and site redevelopment). For good reason, the issue of scoring is contentious in heritage planning, in short, because it quantifies qualitative resources. The following introduces a couple of these challenging variables.

The precedent 1997 *Study* and the *Plan* use different key periods to define Rockcliffe Park’s historical development.¹⁰ In the *Plan*’s assessments, five periods are defined, but two periods 1908-1925 and 1926-1948 are given equal scoring and thus essentially merged. That results in ‘Good’ ranges awarded to almost half of the 20th century development in the HCD. In turn, this allocates higher point scores than might be expected for architecturally ‘mediocre’ buildings. Conversely, the precedent *Study* identified five phases, including ranges of 1900-1925, and 1926 to the present. Using these periods would have considerably changed the tabulated outcomes of the survey.

The shift from cultural landscape conservation to include building protection is also important. The *Plan* itself makes reference to ‘Grade I buildings’, but they are in fact, ‘Grade I properties’, as the inventory method bundles all parts. For example, the property at 270 Buchan Road is a ‘Grade I property’, and that is inclusive of the building. The property was tabulated to have a near perfect environment conditions. But as will be described in this CHIS, the condition of the property’s environment was significantly diminished within a few years of the inventory fieldwork. In the *Plan*, there is no specified method to address the updating of its individual inventory records.

⁹ Section 3, Rockcliffe Park Secondary Plan (former Rockcliffe Park Official Plan), 1993

¹⁰ The Plan states that the ‘Historic Overview’ of the 1997 Study is unchanged, but the important time periods have changed. This inconsistency issue is important to the HCD management instruments.

3. HISTORY AND HERITAGE RESOURCE DESCRIPTION

3.1 Interwar Subdivision Development

As set out in the *'Statement of Cultural Heritage Value'*, the core significance of Rockcliffe Park is its cultural landscape as a part of an 18th century 'English Picturesque'. Although the property and its building at 270 Buchan Road are not a key parts of this period or design, overall, it does contribute to the HCD aesthetic character and setting.

By 1925, the residential development in the Village of Rockcliffe Park was well established along its prominent natural ridgelines and its primary streets (e.g.: Buena Vista, Mariposa, Manor and Springfield). In 1939, Buchan Road and Buchan Place are both noted as "*not built upon*" in the City Directory¹¹.

Given the history of Rockcliffe Park estate, it is logical that the earliest land title records¹² show that this property was in the earlier ownership of Thomas Coltrin Keefer, (1821-1915). He inherited his father-in-law's, Thomas McKay's, land and financial resources. His estate trustees managed the sale of this property as a part of the subdivision lots, commencing in 1936.

By the time of completion of the residence at 270 Buchan Road in 1940, the HCD's housing property sites had almost doubled, and smaller lots were offered. This property constitutes two of those lots.

The total area of the 270 Buchan Road property is approximately 3,000 square meters (or about 33,500 square feet), and it is of an irregular configuration, as shown in Figure 6. The neighbouring lot to the north (290 Buchan Road) is consistent with the 1930s surveyed suburban scale, and accordingly, is less than half the size of 270 Buchan Road.

The property's surroundings now feature Rockcliffe Park Public School (RPPS) playing field and the Village Green. The first design for Buchan Road itself was very different. Early plans (and the street directory) define Buchan Road as a road "extending west and north from Springfield Road to Park Road, and the first street north of Mariposa Avenue"¹³. Buchan Place no longer exists, but it was defined to be south from Buchan Road to Mariposa and the first road east of Springfield Road. The original Buchan Road separated the current RPPS playing field from the Village Green and terminated in front of the property. In this earlier design, Park Road severed RPPS from its current playing field (Figure 5).

¹¹ Directory of the City of Ottawa City (Might's), 1939

¹² Property registry record for Parcel 1651, dated 1936 give 'absolute title' to Estate Trustees Charles O. Wood and Alan C. Fleming.

¹³ Directory of the City of Ottawa City (Might's), 1939



Figure 5: Detail of the road pattern proposed as a part of the subdivision plan Shaded area approximately locates 270 Buchan Road property (Public Archives Canada, NMC 0078801, 1936)

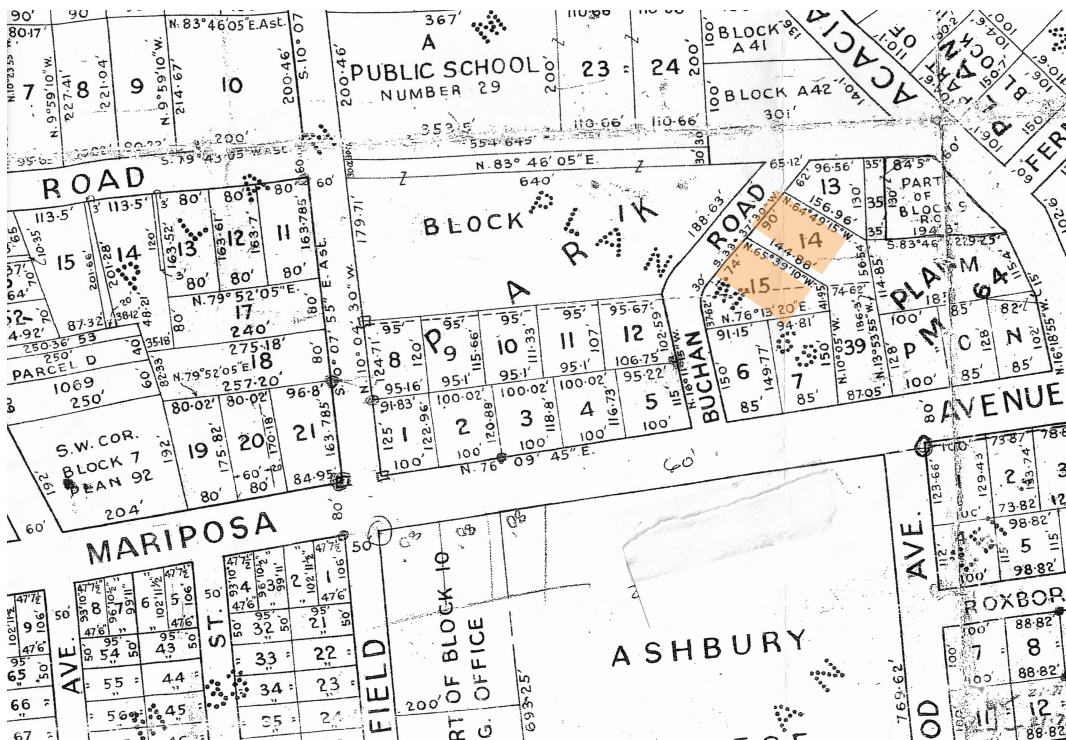


Figure 6: Survey showing property allotments with the current road design: the property is shown as Lots 14 + 15 (no date) Note the surveyed lots (not realized) in the current Village Green



Figure 7: 1928 Aerial of Rockcliffe Park West – Buchan Road not yet formed with the property under the ownership of the Estate Trustees for T.C. Keefer (GeoOttawa Maps)

3.2 Streetscape

3.2.1 Heritage Survey Record

An excerpt from the *Plan's Heritage Survey and Evaluation Form* for the property describes the 'character of the streetscape':

*"Buchan Road is a winding curve with no sidewalk or curb; pedestrians and cars share the same space. Buchan Road is a very quiet thoroughfare with little traffic. Various means, such as hedges, rocks and trees, are used to separate the street from the private properties while allowing visual continuity and flow from one property to another. The west side of the street is characterized by the open green space of the Village Green and the school yard of Rockcliffe Park Public School which is defined by a line of mature trees."*¹⁴

¹⁴ City of Ottawa, *Rockcliffe Park HCD Plan's Heritage Survey and Evaluation Form* for 270 Buchan Road (2010) – 'Character of Existing Streetscape' p.2.

Two residential properties are identified as a part of the ‘associated landscape’¹⁵ of 270 Buchan Road: 275 and 290 Buchan Road. These properties are also assessed to be ‘Grade I’.¹⁶ The description of the streetscape in the *Heritage Survey and Evaluation Forms* for these items is virtually the same as the quotation above for 270 Buchan Road. However, 270 Buchan Road scores considerably higher overall.¹⁷ The summary of the ‘*Landscape / Open Space*’ contribution to the heritage environs is also equally similar for each of these properties:

“This property contributes to the landscape of Buchan Road and this area of Rockcliffe because it has many mature trees and plantings and vast open space, [sic] it is setback from the curved portion of the paved street surrounded by large trees and other property line defining elements (such as the rocks and extensive street plantings) which are consistent with other properties on this street.”¹⁸

The assessed (and weighted) scores of the ‘environment’ category considerably influence the ‘Grade I’ status conferred upon each of these three Buchan Road properties. Related to this, any redevelopment of these residences would require legal proceedings.



Figure 8: Front elevations of homes on Buchan Road Grade I properties (290 left, 275 right)

¹⁵ As per Sally Coutts, Heritage Planner III, City of Ottawa, January 2017.

¹⁶ City of Ottawa, *Rockcliffe Park HCD Plan’s Heritage Survey and Evaluation Forms*, 2010.

¹⁷ 270 Buchan Road’s contribution to its heritage environs scores 30/30 and its landmark status is assessed at 7/10. The 275 and 290 Buchan Road properties scores are lower: 20/30 and 3/10 respectively.

¹⁸ City of Ottawa, *Rockcliffe Park HCD Plan’s Heritage Survey and Evaluation Form*, 270 Buchan Road (2010) – ‘Contribution of Property to Heritage Environs: Landscape/Open Space’. p. 2.

It is an important conservation objective to maintain and recover character and elements noted in the collective streetscape character description, namely hedges, rocks (or rock walls), trees and building setbacks.



top – flattened panoramic view from RPPS pathway (275 at left) and (270 at right). There are no frontal views from one house to the other



centre – view north with 270 Buchan Road on curve at right



*Figure 9: Buchan Road streetscape views in November 2016.
Bottom – view from Mariposa Street looking north*

3.2.2 Current Conditions

The property's street frontage extends approximately 50 meters (164 feet) along Buchan Road. To describe the property's setting as a part of a 'streetscape' defies the traditional definition of that term. The spatial character does not express a consistency of built form or setbacks. Instead, it is principally the physical character of the road and its generous verges that define the 'associated streetscape'.¹⁹

Despite an unobstructed and expansive street frontage the building's principal façade is remarkably concealed from general view. This is attributed to:

- The location on along the street's broad curvature
- The lack of notable structures across the street (there is one 'shack')
- The building's setback
- Trees on adjacent properties.

To the passing pedestrian or motorist, this specific part of Buchan Road is perceived as having a single building that faces a tree-lined verge. Depending on the season (and thus the extent of deciduous leaf cover), these trees obscure the view west from the property to the RPPS playing field and the school's 'shack' (which has been located beside the playing field and facing the property's principal façade). In the winter, without the canopy of deciduous leaf cover, the property is visible from the RPPS playing field.

From the street, directly in front of the residence, there are views south to Ashbury College's circular driveway, parking area and main building. Also from this location, the wooded perimeter of the Village Green is visible to the southwest. From the front or west of the property, the street's broad curve and mature neighbouring trees and hedges obscure views of properties to the north (290 Buchan Road) and to the south (361 Mariposa Avenue) borders. The rear or east yard of the property is exposed to local views in and out, notably from the upper floor level.

In the winter, there is a partial, oblique view from the street in front of the property to the residence at 275 Buchan Road. The latter is incongruously offset from the road along the pathway to RPPS, (this orientation arises from the original 'thoroughfare' design of Park Road shown in Figure 5).

The 270 Buchan Road property shares a boundary with 290 Buchan Road to the north, but dense year round vegetation obstructs views between these properties at ground level.

¹⁹ City of Ottawa definition of associated streetscape, 'both sides of the street in the same block as the subject property'.

3.3 Landscape

3.3.1 Heritage Survey Record

An excerpt from the *Plan's Heritage Survey and Evaluation Form* for the property describes the 'Character of the Existing Property':

*"The building is situated on the east side of Buchan Road situated on the curved portion of the street. It is set back from the street, facing Buchan Road, separated by the garden and driveway. A cedar hedge and a variety of small trees and shrubs create privacy sheltering the house from the road. Surrounding the driveway is a variety of mature coniferous and deciduous trees. The grounds are even[ly] graded and the property primarily consists of an expansive lawn with a variety of shrubs. The front lawn is interrupted by a broad semi-circular driveway."*²⁰

A very high landscape rating is given to the property in the *Heritage Survey and Evaluation Form*, (a rating only matched by a few other and prominent properties²¹). The landscape description is key to this character statement, however, the current situation is very different than that surveyed 2010 condition. The record refers to a variety of trees and shrubs, and is supported by a photo of the main building (with a variety of overgrown shrubs that the proposed development's landscape architect defines as 'poorly pruned and lacking in overall aesthetic appeal').

Regrettably, in recent history, and before the current owners acquired the property in 2013, many of the heritage survey referenced trees and shrubs that formerly separated the home from the street were removed. This has included the sheltering Cedar hedge, shrubs and the mature coniferous trees as shown in the comparative photographs to follow.

3.3.2 Current Conditions

The existing landscape setting of 270 Buchan Road includes mature Cedar hedges and these are typical of the Rockcliffe Park neighbourhood. The hedges define the northern boundary and most of the southern boundary of the property. The majority of these are on the adjacent lots and not attributable to this property (refer to Appendix F: Tree Disclosure Report).

²⁰ City of Ottawa, *Rockcliffe Park HCD Plan's Heritage Survey and Evaluation Form* for 270 Buchan Road (2010) – 'Character of Existing Property'. p. 2.

²¹ In the 2010 *Heritage Survey and Evaluation*, out of over a hundred records viewed, the high environment rating of 97/100 is also assigned to 230 Park Road, 500 Lisgar, 190 Lansdowne; a perfect rating is given to 280 Thorold Road, 193 Lansdowne Road (overlooking MacKay Lake and 725 Acacia (former Bronson Residence, Waterston) are both given perfect scores of 100 in the landscape category.

A mixture of native and non-native trees occurs around the property, with a concentration on the southern boundary. A low linear hedge of Yews occurs in the front garden in the semi-circular lawn separating the house from the street. In the rear garden, apart from the Cedar hedges, there is a mixture of shrubs emphasizing variety rather than composition.

A variety of hard landscape materials have been used in the garden. Irregular flagstone on concrete has been used for landings and steps in the rear garden. Concrete interlocking pavers have been used extensively in the front garden, and the use of this material is not in character and generally detracts from the presentation of the home.

Five residences (on Buchan Road, Mariposa Avenue and Acacia Avenue) share the Cedar and tree defined rear boundaries. The rear or east yard of the property is exposed to local views, predominantly from the upper floor levels of all buildings. Of these adjacent properties, four are assessed to be 'Grade I': 371 and 383 Mariposa Avenue, 283 Acacia Avenue and the previously noted, 290 Buchan Road. The residence at 361 Mariposa Avenue is relatively recent, (c. 2001) and 285 Acacia Avenue was built in 2016.



Figure 10: Aerial perspective of 270 Buchan Road and neighbouring properties 2016 (GoogleEarth)

The new residence at 285 Acacia Avenue shares a back, or eastern, boundary with the property. That 2016 building is uncharacteristic of the HCD with its large flat roofs and rectilinear, cubic form. It is set within in the cluster of traditionally hip or gable sloped roof buildings. The 285 Acacia Road development has also introduced an unprecedented new, solid (over two meter high), wooden fence. Figure 10 provides a recent aerial view of this residential neighbourhood.



Figure 11: 2010 - Aerial view of the property (source: Heritage Survey and Evaluation Form, Bing.com)



Figure 12: 2014 – Aerial view of the property (GeoOttawa Maps)



*Figure 13: Principal Façade of the Property's Residence Viewed from the west, 2010
(source: Rockcliffe Park HCD Plan Heritage Survey and Evaluation Form)*



Figure 14: Comparative View in 2016 - Principal West Façade of the Property's Residence



Figure 15: Existing Site Plan from drawing series by Roderick Lahey Architect Inc. 2017 (base survey by Annis O'Sullivan Vollebakk Ltd.)



Figure 16: View west: 270 Buchan Road's front driveways, looking to street trees (opposite side), with RPPS school yard and shack beyond street verge



Figure 17: 'Side Yard' view: The 270 Buchan Road Heritage Survey and Evaluation Form (May 2010)



Figure 18: The 270 Buchan Road property's front yard (November 2016)



Figure 19: View south: Grassed rear yard with Cedar hedge and Mariposa house in view (2016)

3.4 Historic Associations

3.4.1 Heritage Survey Record

An excerpt from the *Plan's Heritage Survey and Evaluation Form* for the property summarizes the 'Historical Significance':

"This building is associated with the transformation of Rockcliffe into a fashionable suburb, particularly in the creation of Buchan Road in the late 1930s. This building is also associated with the prominent Southam family, founders of the Southam Publishing Company and long time early residents of Rockcliffe."

The *Plan's* property record also notes that,

"this building was originally owned by Robert Southam, raised in Rockcliffe as the son of Liliias and Harry Southam ... Upon graduation from Columbia University, Robert Southam had 270 Buchan built ... went on to become the publisher of the Ottawa Citizen ..."

Research for this report indicates that though Robert Southam bought the property (two lots) in May 1940 for \$4750, and he executed a 'turn-over', selling it within three months for \$36,000 to Alexander Barnet and Mary Maclaren.²² The increased value indicates that Southam made a substantial property investment, for example, building the residence, but a record confirming this has not been secured. The three-month selling time frame is also a very short period to undertake a significant capital investment.

It is very unlikely that Robert Southam ever lived at this property. There is no (Might's) directory record of the adult Robert Southam living in Rockcliffe Park until 1944. In that year, with his wife, Ann, he rented a part of a Tudor styled row housing complex at 18 Maple Lane on the boundary of Rockcliffe Park / Lindenlea.²³ By 1946, Robert Southam had purchased the property at 550 Prospect Road, and he lived at this address with his family until 1984 (retiring from the Ottawa Citizen c.1980), thereafter moving to 10 Crescent Road. The latter was the street he lived on as a boy (his parents owned 'Casa Loma' at 5 Crescent Road, later moving to 9 Crescent Road).

The 1940 property owner, A. Barnet Maclaren (1885-1980), was the son of Alexander Maclaren, (1860-1939), and a part of a prominent Ottawa Valley business family. Alexander Barnet and Mary (nee Gibbs) Maclaren are the principal historical figures associated with the 1930s two-lot property, having ownership and residency there for almost 55 years²⁴ (refer to Appendix E: Historic Associations).



Figure 20: A. Barnet Maclaren in 1943 – the Maclaren family owned 270 Buchan Road 1940 - 1995

²² Ottawa Land Titles records, 1940, Robert Southam is noted to be a Journalist and the sale to the Maclarens is made under oath of Duncan Kenneth MacTavish in August 1940. Microfilmed records indicate that the Maclarens were 're-entered' as owners on January 1941.

²³ Directories for the City of Ottawa, published by Might's, examined years 1939-2003 (1940 property volume missing)

²⁴ Ibid.

3.4.2 Ownership Record

270 Buchan Ownership Record

October 1936	Charles O. Wood and Alan C. Fleming as T.C. Keefer Estate Trustees <i>In addition to this property (Lots 14 and 15)</i> <i>Trustee transfers include:</i> Lots 1-7 on Mariposa (north side) Lots 8-12 on Buchan Road (south side) Lots 13-15 on Buchan Road (north side) <i>Lots 1-5 and 8-12 later became the site of Rockcliffe Park's Village Green</i>
May 1940	Robert Wilson and Ann Creighton Southam
August 1940	Alexander Barnet and Mary Maclaren
November 1995	property transfers to numbered companies <i>(settlement of Mary Maclaren's estate)</i>
November 1996	Lisa J. Bourque
July 1999	Normand and Janet Major <i>(Building additions, Barry Hobin, Architect)</i>
June 2009	Rashell Freedman <i>(several construction liens applied 2009 to 2012)</i> <i>Significant alteration to landscaping (site clearing)</i>
July 2013	Richcraft Properties Limited

3.5 Architecture

3.5.1 Heritage Survey Record

An excerpt from the *Plan's Heritage Survey and Evaluation Form* for the property summarizes the 'Architectural Significance':

"This building is a good example of a mid century residence built in Rockcliffe after it had transformed into a fashionable suburb and demand for lots was steadily increasing. Its customized plan and features are indicative of many residences in the area."

There are well over twenty houses in the West Rockcliffe Park area that share this building's character or architectural style, as it was popular in its time.²⁵ It has not rarity, age nor excellence to define it as architecturally significant. Based on standard assessment criteria, it would not be a protected as an individual heritage building were it not for its assessment as a part of the HCD. Hazelgrove's association with 270 Buchan is reflected in the value given to the property in the heritage survey assessment's 'architecture category'.

A very good example of this architectural style in Rockcliffe Park is located at 280 Thorold Road. It was designed by John Roper Henry Morin and Victor Belcourt for the Duncan MacTavish and Janet Southam MacTavish family in 1940.²⁶

The existing structure was built in 1939-1940, and is the design of the architectural firm of Hazelgrove and Mills (refer Appendix E: Historic Associations). The style is characteristic of their work, and in 1940, they also executed residential projects at 477 Manor, 200 Mariposa and at the neighbouring property, 290 Buchan Road.²⁷

Albert James Hazelgrove is attributed with several other Rockcliffe Park residences, as well as a major addition to RPPS in 1936. During the construction of 270 Buchan, Hazelgrove was the President of the Ontario Association of Architects. By 1948, he was President of the Royal Architectural Institute of Canada by 1948 and has been referred to as Rockcliffe Park's "most prolific architect".²⁸

²⁵ For some years in the early 20th century, Rockcliffe Park had a bylaw requiring the use of stone facing at ground level on principal façades and this trend continued to be popular, not required, in ensuing decades.

²⁶ In the HCD Survey, 280 Thorold Road is assessed as 89/100 for its architecture category. 270 Buchan Road is assessed as 68/100.

²⁷ A summary profile of Hazelgrove (1884-1958) found: dictionaryofarchitectsincanada.org/node/1511

²⁸ M. Edmond. *Rockcliffe Park: A History of the Village*, p. 72.

The survey form incorrectly cites that Hazelgrove retired in 1968. He died in 1958, after having been actively engaged in the architecture profession for almost fifty years and progressively, a principal of eight different architectural firms.

The *Heritage Survey and Evaluation Form* incorrectly notes that the upper storey is clad in vinyl. It is a rendered cement finish common to this period and referred to as 'featheredge', which was used to emulate horizontal wood siding.

3.5.2 Current Conditions

The subject building has been moderately compromised, arising from the removal of character defining elements, introduction of incompatible materials and a general physical decline due to a lack of maintenance over time, including:

- Replacement of original wooden windows with aluminum and vinyl (exception of the garage)
- Replacement of roof cladding with inferior material and makeshift flashing/patching at dormers
- Additions/alterations to the home
- Alterations to the roof form and east elevation (east addition, flat roof)
- Various water leaks around specific windows on the ground and first floor (associated with additions and roof flashing)
- Cracks in the foundation, garage wall and fireplace firebricks
- Mortar loss in stone course locations
- Ancillary hard landscaping which is incompatible with the building's presentation (e.g. use of modular paving bricks and other hard surfacing, window wells, multi-level flagstone and rock tiers, ground mounted AC units, etc.).

The Building Inspection Report (2013) indicates the likelihood of asbestos in the rendered exterior cladding. The presence of this material is not confirmed.

There are currently no known structural or any other threatening or physically compromising issues identified.



Figure 21: Elevations: east/back (top), north (middle left), south (middle right), front/west (bottom)

4. PROPOSED DEVELOPMENT

The proposed development project for 270 Buchan Road is the work of John K. Szczepaniak, (landscape design) and Roderick Lahey (architectural design).

Complete design drawings comprise Appendix A: Development Proposal Summary.



Figure 22: Composite Design Perspectives of Proposed Development Project (source: designs of John K. Szczepaniak, landscape design, and Roderick Lahey architectural design)

4.1 Environment and Landscape²⁹

The landscape design development proposal has been conceived in collaboration with the architectural design development for the property. The proposed landscaping is designed to restore an informal landscape that is consistent and an asset to the “picturesque tradition” of Rockcliffe Park.

The overall proposed landscaping for 270 Buchan Road is designed to achieve a quality landscaping consistent with, and an asset to, the “picturesque character” of Rockcliffe Park. In summary, the associated, key landscape elements are:

²⁹ Landscape design descriptions verified and sourced from the John K. Szczepaniak Landscape Architect submission.

- The proposed protection and preservation of the original Cedar hedges
- The extensive introduction of native species
- Large lawn areas
- Generous overall planting, with an emphasis on native species, and
- Careful grading with terraced walls, stone steps and grass risers.

All existing hedges bordering the property are being retained and protected, as are the non-invasive tree species, wherever possible (these details are provided in Section 4.1.3, and refer Appendix F: Tree Disclosure Report). Ample planting of additional trees and shrubs is planned, with an emphasis on native species. Large areas of the lawn are being retained, and the hardscaping material will be natural limestone, characteristic to the garden details on many older Rockcliffe Park properties.

4.1.1 Front Garden

To separate the proposed home from the street and to add to the street character, ten new trees are proposed. They include three large evergreens (at an installed height of five metres) and one deciduous tree (with a trunk measuring 150 mm in diameter). The balance of the trees proposed will be from 45 to 70 mm in diameter at installed size. The species proposed include Spruce, Balsam Fir, Red Oak, Serviceberry, Columnar Sugar Maple and Columnar Gingko. Ample massing of shrubs, primarily Dogwoods and compact evergreens, will further add to the greening of the front garden. Broad drifts of perennials, primarily ornamental grasses and white flowering perennials, such as Coneflowers, Daylilies and Hostas, complete the planting palette.

Retention of the circular drive is proposed. This has historically formed a part of the property since 1940 (see Appendix D: Property Character Chronology and Appendix E: Historic Associations). The driveway will be reduced in scale with the entrances being narrowed to a width of three metres at the property line. All interlock paving on the site is being eliminated and the asphalt drive way surface is being retained. There is a new garage 'turnaround' and recreation area proposed. Overall, there is a reduction of 12% of the driveway coverage.

Once mature, the landscape will have a fairly densely forested character when seen from the Buchan Road. The primarily grass verge will continue to link the property to the surrounding landscape. As noted, given the curvature of the street, this property is not visually well connected to the neighbouring homes. Regardless, the landscape recovery plan responds to the domestic gardens in the vicinity.



Figure 23: Master Plan (source: designs of John K. Szczepaniak, landscape design, and Roderick Lahey architectural design)

4.1.2 Side Gardens

The garage driveway alignment has been altered to service the new building’s plan and precise garage location. The placement of the driveway, as well as the introduction of nearby trees, has been carefully located to enable its screening from the road.

Traditionally styled natural stonewalls include terraced dry stone retaining walls on the existing southern slope. These are to be integrated with ample planting, as well as a vegetable garden. Crushed stone is being used as the main material around the vegetable garden areas. Fruit trees and small fruit-bearing shrubs, such as Raspberries, Currants and Gooseberries are the primary plant materials in this southerly vicinity.

4.1.3 Rear Garden

Retaining and protecting the existing hedges and non-invasive tree species is a priority in this eastern part of the site, which will also include areas for family leisure. A Bitternut Hickory, a less common native tree, occurs in the southeast corner of the site and is

identified to be of special interest. It is located next to a stonewall that forms a part of the southern boundary of the site.



Figure 24: Front and Rear Elevations (source: John K. Szczepaniak, Landscape Architect)

Two invasive Norway Maples and a Manitoba Maple in the rear garden are proposed for removal. Removal of the Norway Maple in the southeast corner of the site, where the existing Cedar hedges meet at a ninety-degree angle, should allow the adjacent Cedar hedges to perform better and allow the Sugar Maples to prosper. The second Norway Maple and the Manitoba Maple bordering the proposed stonewall are scheduled to be removed and replaced by Cedar hedging.

To the rear of the house, steps made of limestone curbing with grass treads are incorporated, and these help to address the rear yard’s grading issues.

A pool is proposed for the eastern part of the site, in proximity to a neighbouring property’s pool. This area is clear of major tree roots. In lieu of hardscaping around the pool, wooden decking is being proposed to enable percolation of water. The balance of the eastern corner of the site is being devoted to a woodland garden that will emphasize the use of native plants. Here, the existing grades will be preserved so as to help protect the existing trees. The main new tree species are to include Balsam Fir and Pagoda Dogwood. Lower planting will emphasize massing of native ferns and shrubs such as Dogwoods.

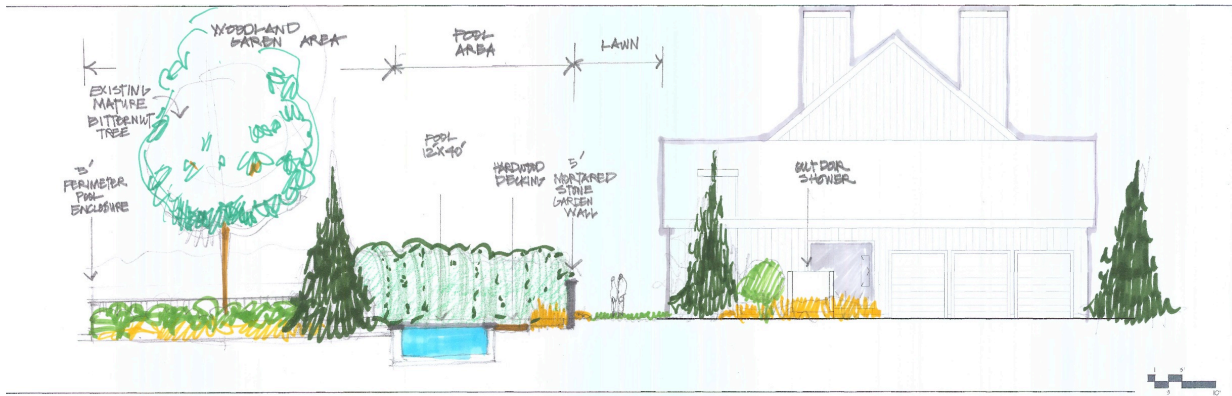


Figure 25: Landscape detail: North Elevation (source: John K. Szczepaniak, Landscape Architect)

4.2 Architecture and Materials³⁰

4.2.1 Massing and Setback

From its beginnings, the relationship of buildings to the natural setting was a recognized attribute of the Village of Rockcliffe Park (reference Section 2: Heritage Conservation District Significance). The proposed residential building is designed to respond to the history and character of the Village with a country farmhouse theme, and this is expressed in siting, massing, materials and the landscape relationship.

The proposed building is consistent with current conditions, in terms of its set back from Buchan Road, the existing access pattern, the siting on the property and thus its relationship to neighbouring houses, (which have setbacks of varying distances).

The new residence is envisioned as a collection of smaller buildings, inspired by a historical farmstead composed of a main house and outbuildings. The house is designed as three distinct volumes, each with a simple shape and strong gabled profile, which are then connected. Spreading the area of the house in this way creates a harmonious proportion on the large lot, and reduces its visual scale.

The overall size of the house is similar to that of the neighbouring 361 Mariposa Avenue, but the scale of the individual volumes, as well as the gabled roof, are similar to 290 Buchan Road. The proposed building height is slightly higher than the neighbours, which is offset by the setback and the silhouette of the varied volumes that create a scale and level of interest that integrate it into the unique, curved streetscape setting.

³⁰ Architectural descriptions verified and sourced from the Roderick Lahey Architect Inc. submission.

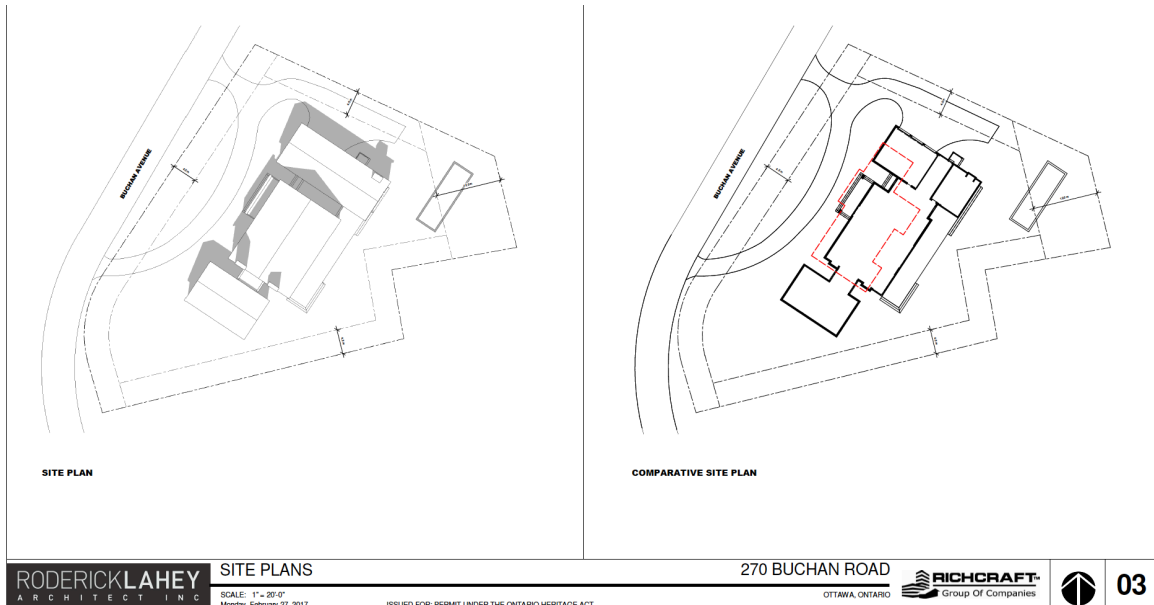


Figure 26: Comparative Site Plan with the existing building's ground floor plan shown by a red line (source: Roderick Lahey Architect Inc.)

4.2.2 Design and Materials

While the massing references the rural character of a farmhouse, the design of the house aims to maintain a strong relationship with the landscape throughout the living spaces. The nature of this relationship varies throughout the house.

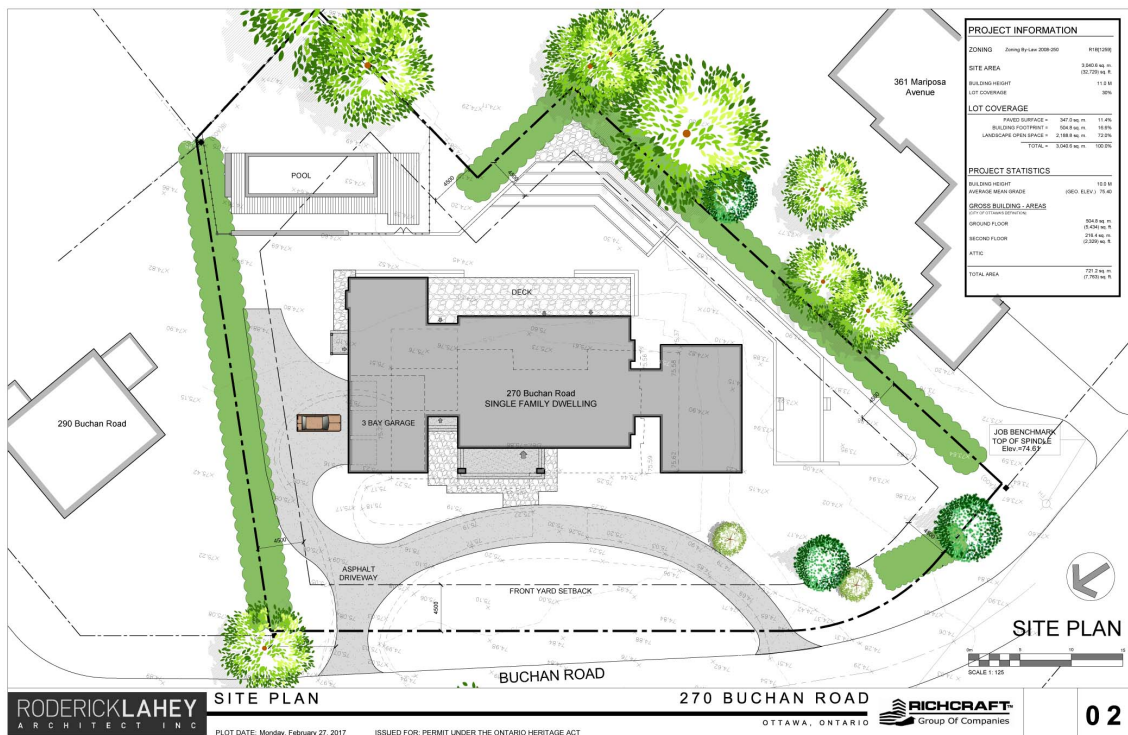


Figure 27: Site Plan showing new building

All three main volumes of the house feature large windows that invite outward views. The connections between the central, east, and west volumes are narrow transition spaces, bounded on two sides by the solid masses, with open, glazed ends to create the experience of passing through an exterior space.



Figure 27: Proposed Elevations (source: Roderick Lahey Architect Inc.)

A large terrace along the east side of the house, a three-season room that opens up completely on two sides, and a variety of spaces integrated into the landscaping support a style of living that seeks harmony with nature, echoing the ideals of the picturesque suburban planning of Rockcliffe Park.

The materials reference the country theme of the house, and the history of the Village. Rustic materials such as wood board and batten siding, (painted off-white), and black metal standing seam roofing are reminiscent of rural farmhouses and cottages, but are balanced

with contemporary black-framed windows. The monochromatic palette allows the house to act as a backdrop to the landscaping. As a contemporary dwelling 'of its own time' (as defined in the *Plan*), the proposal adds to the diverse collection of styles and periods of the heritage district, while actively reinforcing the village character of Rockcliffe Park.



SOUTH-WEST VIEW



NORTH-WEST VIEW

*Figure 29: Composite Design Perspectives of the Buchan Road streetscape view
(source: designs of John K. Szczepaniak, landscape design, and Roderick Lahey architectural design)*

5. IMPACT OF THE PROPOSED DEVELOPMENT

5.1 Grade I Property

As referenced in Section 3: Heritage Conservation District Significance, the *Plan's* 'Statement of Cultural Heritage Value' is principally focused on the merits and heritage attributes of the cultural landscape. Accordingly, the proposed development is designed to recuperate or improve the existing environmental condition that has been compromised in past years (post-heritage survey of 2010).³¹

The built environment is closely associated with, and in the case of Rockcliffe Park, often compliments, the natural attributes. Given its scale, materials and massing, the current building at 270 Buchan Road contributes to the overall character of the setting.

The following comments on the *Plan's Guidelines for Existing Buildings and Landscapes* concerning *Demolition and Relocation*³²:

Guideline:

Comment:

Demolition or relocation of Grade I [sic] will only be permitted in extraordinary circumstances such as fire or natural disaster

Rehabilitation and restoration of the landscape is proposed, in conjunction with proposed demolition of the building located on the Grade I assessed property. In this case, there is no applicable 'extraordinary circumstance'.

Demolition applications for Grade I buildings [sic] shall be accompanied by a rationale that sets out the reasons that the demotion of the building is being proposed and why retention is not possible

The proposed demolition of the building on the Grade I property is based on the Client's requirements for a residence satisfying contemporary lifestyle needs. The current structure does not fulfill those expectations. The existing building's physical condition appears adequate and not structurally or otherwise compromised for habitation (currently in use).

Given the pending legal action noted in Section 1, the following sub-sections of the CHIS assess the impacts of the proposed development as a whole. The assessment provides a heritage professional's perspective on the proposed development. It is hoped that this will assist the City of Ottawa to determine an optimum means of moving forward.

³¹ Refer also Section 2.3.1 and Appendix C: Property Character Chronology.

³² *Rockcliffe Park Heritage Conservation District Plan*, p. 15.

5.2 Heritage Attribute Impacts

Of twenty-five points in the *Plan's 'Statement of Heritage Attributes'*³³, twelve attributes are broadly applicable to the property (left column). Thirteen attributes are not related at all, and these therefore require no assessment of impact and are not presented herewith.

The assessed impact, effect and/or changes on heritage attributes arising from the proposed property development are summarized in the corresponding text (right column):

HCD Heritage Attribute:

The unobtrusive siting of the houses on streets and the generous spacing relative to the neighbouring buildings

The variety of mature street trees and the dense forested character that they create

The profusion of trees, hedges, and shrubs on private property

Varied lot sizes and irregularly shaped lots

Generous spacing and setbacks of the buildings

Impact of Proposed Development:

No change:

The proposed garden and house development continue to be centered on the large lot and the building maintains the existing street setback. Institutional and recreational land uses dominate this streetscape, irregular for the HCD character.

Positive change:

The landscape plan introduces mature street trees to the property's street presentation.

Positive change:

The majority of character defining trees, hedges and shrubs are currently located on neighbouring properties. The proposed landscape plan supplements with new perimeter planting to the neighbouring residential boundaries.

No change:

The lot size will not change, (representing two lots in the original subdivision plan).

No change:

The proposed new building's footprint is larger than the existing, and the lot size is assessed to accommodate the proposed new scale. The existing setback from the street is maintained.

³³ City of Ottawa, *Rockcliffe Park Heritage Conservation District Plan*, p. 11-13.

HCD Heritage Attribute:

Cedar hedges planted to demarcate property lines and to create privacy

The dominance of soft landscaping over hard landscaping

Wide publicly-owned grass verges

The rich mix of buildings and types and styles from all eras, with the Tudor Revival and Georgian Revival styles for a large portion of the total building stock

The predominance of stucco and stone houses over [and] the relative rarity of brick buildings

The existing garden features that enhance the public realm and distinguish certain properties...

Informal landscape character with simple walkways, driveways, stone retaining walls and flowerbeds

Impact of Proposed Development:

Positive change:

The proposed landscape plan supplements the existing Cedar hedges. Incompatible species that compromise the health of existing hedges are to be removed.

Positive change:

The proposed landscape plan reintroduces HCD landscape and streetscape character. The driveways are generally as existing (refer to Section 5.3, Driveways).

No change

Change: Proposed Demolition and a change of architectural style:

The existing style, very common to the HCD in 1930's-1940's is proposed to be replaced with a building that is 'of its own time', that conforms to the 'new building management guidelines'.

Change: Proposed Demolition and a change of material:

The proposed building design specifies wood as the principal cladding.

Positive change:

It is proposed to reintroduce a landscaped setting that is compatible with the HCD character, including native hedges, flower beds and mature trees.

Positive change:

The proposed landscape plan strategically and deliberately reintroduces HCD character attributes, introducing native species, stone walkways and dry stone and stone mortared walling.

5.3 Correlation to HCD Guidelines

The following uses the *Plan's 'Landscape Guidelines'* and the *'Landscape Guidelines for New Buildings and Additions'*³⁴ in order to assess impacts of the proposed landscape development designs on the Grade I property. Reference is to be made to the Proposed Landscape Designs by John K. Szczepaniak, Landscape Architect (refer to Appendix A: Development Proposal Summary).

5.3.1 Landscape

HCD Guideline:

Comment:

The dominance of soft landscape over hard landscape is an essential heritage attribute of the HCD and shall be retained in order to maintain a green setting for each property

The proposed landscape designs schedule the removal of all brick paved edging and a reduction of the circular driveway width as well as 12% less asphalt cover.

New buildings and additions to existing buildings shall respect the heritage attributes of the lot's existing hard and soft landscape, including but not limited to trees, hedges and flowerbeds, pathways, setbacks and yards. Soft landscaping will dominate the property

The proposed landscaping is designed to restore an informal landscape that is consistent with, and an asset to, the "picturesque tradition" of Rockcliffe Park.

The proposed new property designs are developed to recover cultural landscape significance by introducing characteristic and native plantings, featuring soft landscaping as annotated on the landscape plans.

Front yards shall have a generous area of soft landscaping which may include lawns, shrubs and flowerbeds, specimen or groupings of trees. The tradition of using native plant material is encouraged. Existing elements such as lawns, flower beds, glades of trees, shrubs, rocks and low stone walls shall be maintained.

There is a provision of ample, new soft landscaping to the front (west) yard. As noted above, native plantings are specified. Any existing landscape elements that directly contribute to the heritage character of Rockcliffe Park are conserved. The concept of an extensive grass lawn is preserved, and effective planning for its optimum use forms a part of this.

³⁴ *Rockcliffe Park Heritage Conservation District Plan*, p. 23-26 and 31-32.

HCD Guideline:

The existing landscaped character of a lot will be preserved, when new buildings and additions are constructed.

The front lawns and side yards of new buildings shall protect the continuity and dominance of the soft landscape within the HCD.

Cedar hedges are a common feature of the HCD. The retention of existing mature cedar hedges is encouraged.

Narrowing driveway widths to comply with the Zoning By-law is encouraged when the opportunity arises.

Driveway design that minimizes the amount of asphalt and other paving materials is encouraged. Consideration should be given to the use of porous materials such as turfstone.

Existing narrow flagstone walkways are an important element of the landscape and shall be retained and conserved.

New walkways shall follow the existing pattern in terms of width, material and location.

Comment:

The property currently possesses few elements that contribute to the landscape character. The existing trees and shrubs deemed to be complimentary are retained and/or enriched. Thus the focus of the design is on the recovery of a landscape characteristically associated with the HCD.

The property's landscape plan has been developed to introduce continuity to the streetscape and the overall enrichment of the property's soft landscape.

Most Cedar hedges are located on the neighbouring four properties and retention of all will be encouraged. On the subject property, all non-contributing vegetation that shades and retards Cedar growth will be removed.

The original 1940 circular driveway is scheduled to be narrowed.

The design schedules retention of the existing asphalt surface (asphalt was the specified original surface) and removal of all brick paved edges and associated central decoration. An extension to the driveway is proposed near the garage. New turfstone or porous materials are not specified for use on the driveway.

Flagstone walkways have been introduced as needed near the residence, with the existing interlocking brick and 'crazy paving' patios all scheduled for removal.

In this case, given the extensive modifications to the property since 2010, removing walkways that are non-contributory is proposed.

HCD Guideline:

To ensure landscape continuity, new buildings shall be sited on generally the same footprint and oriented in the same direction as the buildings they replace to ensure that the existing character of the lot, its associated landscape and the streetscape are preserved.

Setbacks, topography and existing grades, trees, pathways and special features, such as stonewalls and front walks shall be preserved.

All applications for new construction shall be accompanied by a detailed landscape plan.

The removal of mature trees is strongly discouraged and all applications will be subject to the appropriate bylaw and permitting process.

Artificial turf shall not be permitted in front and side yards.

Exterior house lights should be limited to avoid light spillage and pollution, and preferably restricted to entranceways.

Comment:

The proposed building is generally sited in the same manner (centered on the width of the property) with the same setback. The principal façade is oriented in the same direction as per the existing condition. There is no assessed compromise to the landscape. The larger footprint of the proposed building is deemed acceptable given the lot size.

The streetscape condition will improve with the proposed addition of mature trees and the soft landscaping character.

The setbacks are preserved. There are currently few property trees and there are no historic stonewalls or front walks. New stone and dry stonewalls form a part of the landscape design. The existing grades present an irregular 'lift' to the building's rear elevation, exposing its foundation. To resolve this, the landscape plan schedules fill to more evenly level the east lawn.

Understanding the important cultural landscape values and attributes of the HCD, the property landscape plan is part of an integrated design team design.

No valued trees are scheduled for removal. There are very few trees at all on this property and thus conversely, the introduction of mature trees forms a part of the proposal.

Artificial turf is not specified and shall not be used.

The proposed design is mindful of ambient light and spillage, and the illumination design is accordingly subtle and limited to the illumination of the principal entrance.

HCD Guideline:

Modern equipment (utility boxes, air conditioning units, satellite dishes) shall be located in a manner that is discreet and not visible from the street.

When fences are required for safety, they shall not be located in the front yard ...

Existing larger lots with Grade I buildings [sic] shall be preserved.

Comment:

None of the listed equipment is scheduled to be a part of the principal elevation of the proposed building.

There are no front yard fences proposed. A fence is only proposed for legal, safety purposes around the swimming pool area in the rear / east yard, as far from the road as feasible on the property. A feature stone wall is visible from the street, and forms a part of the pool enclosure, as well as a new woodland patch with native plantings.

No changes are proposed to the current lot size on the Grade I property.

5.3.2 Buildings

As cited in Section 5.1, the following assessment of the proposed new building is undertaken to provide the City of Ottawa with an external heritage professional's perspective on the proposed outcomes, irrespective of the Grade I property assessment.

The following uses the *Plan's 'Guidelines for New Buildings'*³⁵ in order to assess impacts of the proposed architectural development. Reference is to be made to the Proposed Architectural Designs by Roderick Lahey Architect Incorporated (refer to Appendix A: Development Proposal Summary).

HCD Guideline:

Property owners are encouraged to retain an architect, designer and/or heritage professional when designing a new building

Comment:

The Ottawa architectural firm of Roderick Lahey Architecture Inc. has developed the proposed residential building design.

³⁵ Ibid, p. 29-31.

HCD Guideline:

New buildings shall contribute to and not detract from the heritage character of the HCD and its attributes

Construction of new buildings will only be permitted when the new building does not detract from the historic landscape characteristics of the associated streetscape, the height and mass of the new building are consistent with the Grade I buildings in the associated streetscape, and the siting and materials of the new building are compatible with the Grade I buildings in the associated streetscape.

Comment:

The gabled forms, massing and materials all well contribute to the character setting. Designs for the landscape form an integrated part of the development.

The proposed building contributes to the setting. The streetscape siting of this property is exceptional for Rockcliffe Park with the principal façade remarkably concealed from general street views because of its location on a curve and the lack of buildings on the opposite side of the street (refer Section 3.2). Mature trees are scheduled to soften the property's presentation. Grade I properties are also located at 275 + 290 Buchan.

The proposed two-storey form is compatible with the neighbouring context. The height of the proposed development exceeds that of the Grade I property's building at 290 Buchan and is estimated to generally correspond with the height of the neighbouring building on a Grade II property at 361 Mariposa Road. The building's set back, as well as its situation on the curvature of the road do not enable direct, comparative height views.

As with the existing building at 270 Buchan Road, the exterior materials of the nearby two Grade I properties' buildings on Buchan Road are completely different from each other, with 275 apparently constructed of wood and stucco cladding, and 290 built of concrete cinder block with white (now weather grayed) stucco.

The proposed new building is clad in wide planked vertical wooden board and baton.

HCD Guideline:

New buildings shall be of their own time but sympathetic to the character of their historic neighbours in terms of massing, height and materials. New buildings are not required to replicate historical styles.

Integral garages shall be located in a manner that respects the cultural heritage value of the streetscape.

Existing grades shall be maintained.

... Unless a new building maintains the front yard setback of a building it is replacing, the front yard setback of the new building shall not be less than that of the adjacent building that is set closest to the street.

Comment:

The proposed building is a contemporary design 'of its own time', with clean lines and the use of clustered smaller forms to variegate the site's massing. The design integrates traditional gable roof forms and is wooden clad, aligned to a regional, vernacular style.

The proposed garage is located in generally the same position as at present and contiguous with the overall residential building. Consistent with the current arrangement, the garage is sited to the north of the property, and it is of the same character and style as the main building form, and in balanced symmetry with the pavilion on the opposite, south extent of the proposed residence.

The existing street grade is maintained, wherein the building's principal façade is approximately even with the street level. The existing east grade presents an irregular 'lift' to the building's rear or east elevation, exposing its foundation. To resolve this, the landscape plan schedules fill in order to level a part of the east grassed lawn. The front yard setback of the proposed building is generally aligned to the existing building's principal / street elevation.

The proposed building is not setback less than neighbouring buildings, however, setbacks of the neighbouring buildings are not consistent. Arising from the curvature of Buchan Road, these buildings are also not perceived as aligned or related in their setback.

HCD Guideline:

Windows may be wood, metal clad wood, steel or other materials as appropriate. Multi-paned windows should have appropriate muntin bars.

The use of natural materials, such as stone, real stucco, brick and wood is an important attribute of the HCD...

Terraces on the top storey of buildings do not form part of the heritage character of the HCD, however, a terrace on the top storey may be permitted if it is set back from the roof edge...

Brick and stone cladding will extend to all facades.

Comment:

The windows are fabricated with pre-finished painted aluminum frames and are scheduled to have clear glazing. Their muntin bars are appropriate to the scale of the openings and reflect the contemporary design style.

Wood is specified for all exterior cladding.

No upper storey terraces are proposed.

As noted above, the wood cladding will be used consistently for all elevations, as well as the chimneys.

5.4 Summary

Given that this development proposal schedules the demolition of a building that is located on a 'Grade I' property, from the Rockcliffe Park HCD planning perspective and based on the results of the property's HCD *Heritage Survey and Evaluation*, it can be concluded that there would be an overall, negative impact on the built heritage resource.

Notwithstanding this, the demolition of the existing structure has been simply noted as a 'change' in this CHIS, for the following reasons:

- On a property where the valued cultural landscape character has been very substantially lost, the new landscape concept has been carefully designed to recover significance and introduce soft landscaping attributes associated with the HCD
- The stand-alone values of the existing structure do not warrant its conservation. That is, its heritage value is inextricably tied to the cultural landscape significance
- Overall, there are integrated, very high quality designs presented in the new development proposal that collectively are assessed to form a positive contribution to the HCD.

Acknowledging the aforementioned contravention of the HCD policy for Grade I assessed properties (refer Section 5.1), in other aspects, the development proposal is positively compliant with the *Plan's* landscape and architectural guidelines, without adverse impacts, as follows:

- The proposed new residential structure is sensitive to, and compatible with its surroundings in the HCD
- The proposed development well complies with key guidelines for landscape and new construction.
- There is no significant alteration to viewsheds or vistas arising from this proposed development
- There will be no adverse 'shadow' implications for any adjacent property or landscape element
- The proposed fill in the rear yard does not adversely affect drainage or cultural resources
- The residential land use will continue.

The following are the only items that may merit closer scrutiny as the designs are further detailed (refer to the notes in Sections 5.3.1 and 5.3.2 for details):

Driveway: The existing asphalt surface will be retained and where the driveway is reconfigured for new garage access, turfstone or porous materials do not form a part of the proposed design. Overall, the surface area of asphalt is less than the current coverage, even with the allowance for a turning space/ play court in the vicinity of the garage.

Building Footprint: The building footprint is larger.

Building Height: The proposed building height is higher than the neighbouring Grade I property buildings at 275 and 290 Buchan Road. Actual heights of neighbouring buildings could not be verified.

Existing Grades: The ground level grade on the street front, west elevation is maintained. A substantial area of the rear yard will be modified to achieve a more effective interaction between the grassed lawn and building.

The property is unusual in the HCD given its mixed land use setting and the unique viewsheds. It has not been exploited in the design proposal, but it is assessed that this setting offers some latitude for new development that is otherwise not as easily found within the traditional streetscapes of the HCD.

6. ALTERNATIVES AND MITIGATION STRATEGIES

It is not the Client's interest to pursue **alternative strategies**. No alternative to the integrated landscape and architectural design proposal has been developed.

The landscaping concept is compatible, and greatly enhances and exceeds all reasonable standards and expectations for the recovery of a Rockcliffe Park HCD landscape character. Notably, the landscape design is inextricably integrated with the architectural concept.

For the Client, an 'alternative strategy' that retains any of the existing building has been very clearly confirmed as 'not acceptable'. The current building does not meet the Client's contemporary and practical living requirements. A new residence set in a HCD characteristic landscape is the desired outcome.

Arising from the determination to transform the property, any **mitigation strategies** are assessed to be of a minor nature given the reasonable overall compliance with the HCD Plan guidelines. Apart from the Grade I property issues, the following comments on the comparatively minor impact issues and their mitigation:

- Driveway:** Using porous driveway materials would comply with the *Plan*. Reduction of the paved area is the intent of the *Plan's* guidelines.
- Building Height:** The setback of this property, its exclusive position in an open, curved streetscape and the playing field view all contribute to the reduction of viewsheds to the adjacent properties. In terms of comparing building heights, even the façade of the neighbouring residence at 290 Buchan Road, is hidden behind two mature confers and it is not readily perceptible from the street (see Figures 8 and 10).
- Building Footprint:** The proposed building footprint is larger than the existing, and the new structure is sited over the existing building's footprint and corresponds with its street setback. Given the scale of the property and its streetscape and yard context, it is perceived that the larger building will maintain the property's sense of spaciousness and compatible scale.
- Existing Grades:** The requisite guideline to conserve existing grades does not consider a case basis of 'odd' current conditions. The proposed change to existing back yard grades resolves a previous, awkward detail.

With the active proposal to demolish the existing building, it is a logical recommendation that components worthy of **salvage** should be should be carefully dismantled for constructive re-purposing / recycling. This would include, for example, the wooden roof framing members, the stone cladding and various interior fittings and features.

7. CONCLUSION

The development proposal for 270 Buchan Road introduces an integrated landscape and architectural concept of high quality. As demonstrated in this CHIS and the accompanying documentation, the designs intentionally and meticulously respond to the heritage attributes and the cultural landscape values of the Rockcliffe Park Heritage Conservation District.

Realized, the cohesive development proposal would introduce a very high standard of contemporary and exemplar residential property design to Rockcliffe Park.³⁶ The following summarizes key merits of the proposal:

- The state of the cultural landscape will be improved, with a recovery of ‘missing’ landscape heritage attributes and an enhancement of qualities that define the Rockcliffe Park HCD
- The proposed new building will respectfully contribute to its environment and streetscape and well conforms with the HCD *Plan’s ‘Guidelines for Landscape and New Development’* as an interesting and respectful new design
- There will be no adverse ‘shadow’ implications for any adjacent property or landscape element
- There will be no change in views or vistas from an obstruction vantage. The immediate streetscape views of the building and its landscape will be compatible with the character of the HCD
- There will be no change in land use, isolation or property subdivision
- Care has been taken to contour the site to ensure that drainage and vegetation will be responsibly managed.

Irrespective of the quality of the proposal, its implementation imposes an overarching impact on an assessed heritage resource of the HCD: **demolition of a building on a Grade I property.**

As a ‘Grade I’ property in the HCD, the owner has no reasonable opportunity to present a new and exceptional building development scenario. Thus arising from this, the City of Ottawa has been notified of an Appeal under subsection 41(4) of the *Act* against the Rockcliffe Park HCD Bylaw of 2016.³⁷

³⁶ It is not the intent of the Client to undertake the landscape designs without the architectural component of the proposed project.

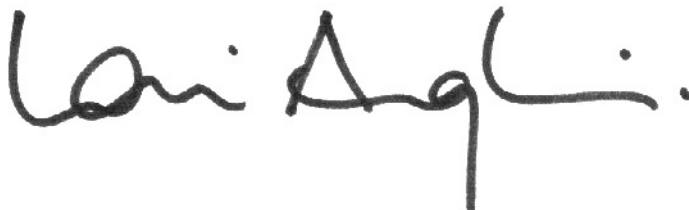
³⁷ Notice of Appeal filed on 27 April 2016 by Soloway Wright LLP, File no. 23482-1074

The CHIS identifies many issues of relevance to the pending legal case, including that:

- The genesis of the Rockcliffe Park HCD was to protect and conserve its significant cultural landscape. This integrated development proposal presents the opportunity to recuperate and enhance a part of that preeminent landscape heritage character.
- In this specific case, there is an unusual mixed land use setting and limited viewsheds onto the property that offers some latitude for new development that is otherwise not as easily found within the traditional streetscapes of the HCD.
- The *Heritage Survey and Evaluation* undertaken for 270 Buchan Road has limitations and to date, the City of Ottawa (Planning, Infrastructure and Economic Development Department) is undertaking a review to revise the assessment results based on new information.

Please contact the undersigned with any queries arising, or for a discussion of any part of the content of this Cultural Heritage Impact Statement,

Sincerely,

A handwritten signature in black ink that reads "Lori Anglin". The signature is written in a cursive style with a long horizontal stroke at the end.

Lori Anglin

16 chemin Pritchard
Lascelles, Québec

+1 613 255 2217