

City of Ottawa
 SEP 08 2021
 Committee of Adjustment

ASTRATIC
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

COORDINATES WERE DERIVED FROM REAL TIME NETWORK
 OBSERVATIONS (SMARTNET) MTM ZONE 9, NAD83 (CSRS, 2010.0).
 COORDINATES HAVE BEEN DETERMINED TO AN URBAN ACCURACY
 IN ACCORDANCE WITH SECTION 14(2) OF OREG 216/10.

POINT ID	NORTHING	EASTING
13	-	-
68	-	-
76	-	-

COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH
 CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

PLAN PREPARED FOR COMMITTEE
 OF ADJUSTMENT PURPOSES
 JUNE 4, 2021

FRONTAGE	AREA(m ²)	PART	LOT	PLAN	PIN
7.67	232.4	1	587 & PART OF 586	346	04001-0053
8.46	252.7	2	PART OF LOTS 586 & 585		

I REQUIRE THIS PLAN TO BE
 DEPOSITED UNDER THE
 LAND TITLES ACT.

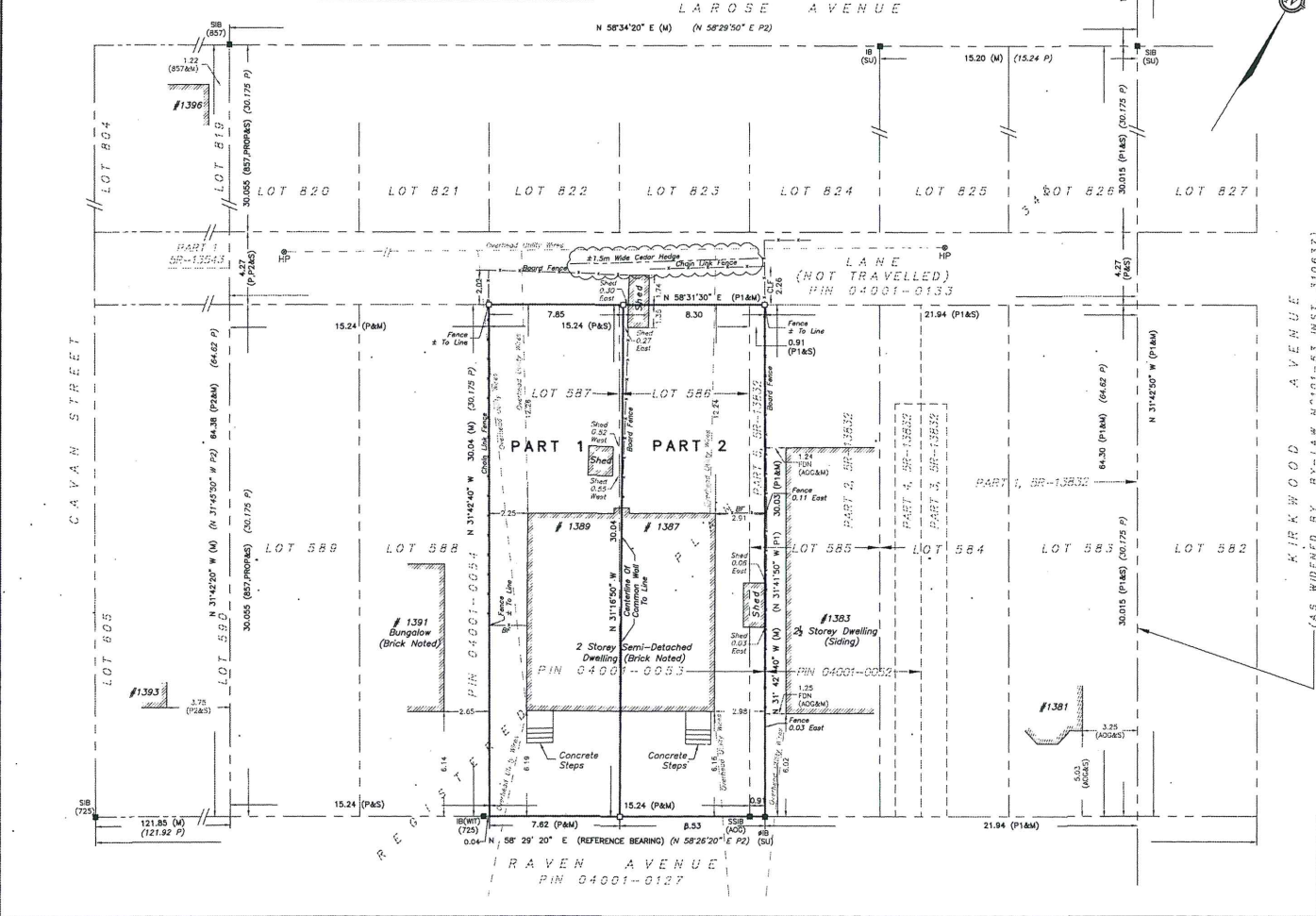
DATE _____

 JOHN H. GUTRI, O.L.S.

PLAN 4R-
 RECEIVED AND DEPOSITED

DATE _____

 REPRESENTATIVE FOR
 LAND REGISTRAR FOR THE
 LAND TITLES DIVISION OF
 OTTAWA - CARLETON (N° 4)



PLAN OF SURVEY OF
 LOT 586 AND LOT 587
 AND
 PART OF LOT 585
 REGISTERED PLAN 346
 CITY OF OTTAWA

SCALE 1 : 150

0 1 2 5 10 15 metres

FAIRHALL, MOFFATT & WOODLAND LIMITED
 ONTARIO LAND SURVEYORS

- NOTES**
- BEARINGS ARE ASTROMONIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF RAVEN AVENUE SHOWN ON PLAN SR-13832, HAVING A BEARING OF N 58°29'20" E.
 - BEARINGS CAN BE CONVERTED TO GRID BY APPLYING AN ANGLE ROTATION TO ***** CLOCKWISE. REFERENCE BEARING BECOMES N ***** E.
 - DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR *****.

- LEGEND**
- - SURVEY MONUMENT SET
 - - SURVEY MONUMENT FOUND
 - SIB - STANDARD IRON BAR
 - SSIB - SHORT STANDARD IRON BAR
 - IB - IRON BAR
 - - ROUND
 - (P) - REGISTERED PLAN 346
 - (P1) - PLAN SR-13832
 - (P2) - PLAN SR-13543
 - (725) - ROSS WILBERT ARNETT, O.L.S.
 - (A00) - ANNIS, O'SULLIVAN, VOLLEBECK LTD., O.L.S., (PLAN OF #1391 RAVEN AVENUE DATED APRIL 30, 1990 & JOB 0-391-91)
 - (857) - FAIRHALL, MOFFATT & WOODLAND LIMITED, O.L.S. (REF. 67(c)-346NP)
 - (S) - SET
 - (M) - MEASURED
 - BF - BOARD FENCE
 - CLF - CHAIN LINK FENCE
 - FDN - FOUNDATION
 - (SU) - SOURCE UNKNOWN
 - (WT) - WITNESS
 - PIN - PROPERTY IDENTIFIER NUMBER

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON
 02/12/24
 DATE

 JOHN H. GUTRI
 ONTARIO LAND SURVEYOR

Fairhall Moffatt & Woodland L.L.B.E.S. Ontario Land Surveyors Surveying and Land Information Services 100-800 TERRY FOX DRIVE, KANATA, ONTARIO K2L 4K6 TEL: (416) 591-2885 FAX: (416) 591-1465 www.fmw.on.ca	JOB No. A B 1 7 5 0 0 E 384641, N 5026769
	REFERENCE No. 80-346 NP S:\ARR\AB1750\DWG\04A\ME2021 RP_AB175.dwg (ea)

City of Ottawa
 SEP 08 2021
 Committee of Adjustment

Primary Severance

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PLAN PREPARED FOR COMMITTEE
 OF ADJUSTMENT PURPOSES
 AUGUST 26, 2021

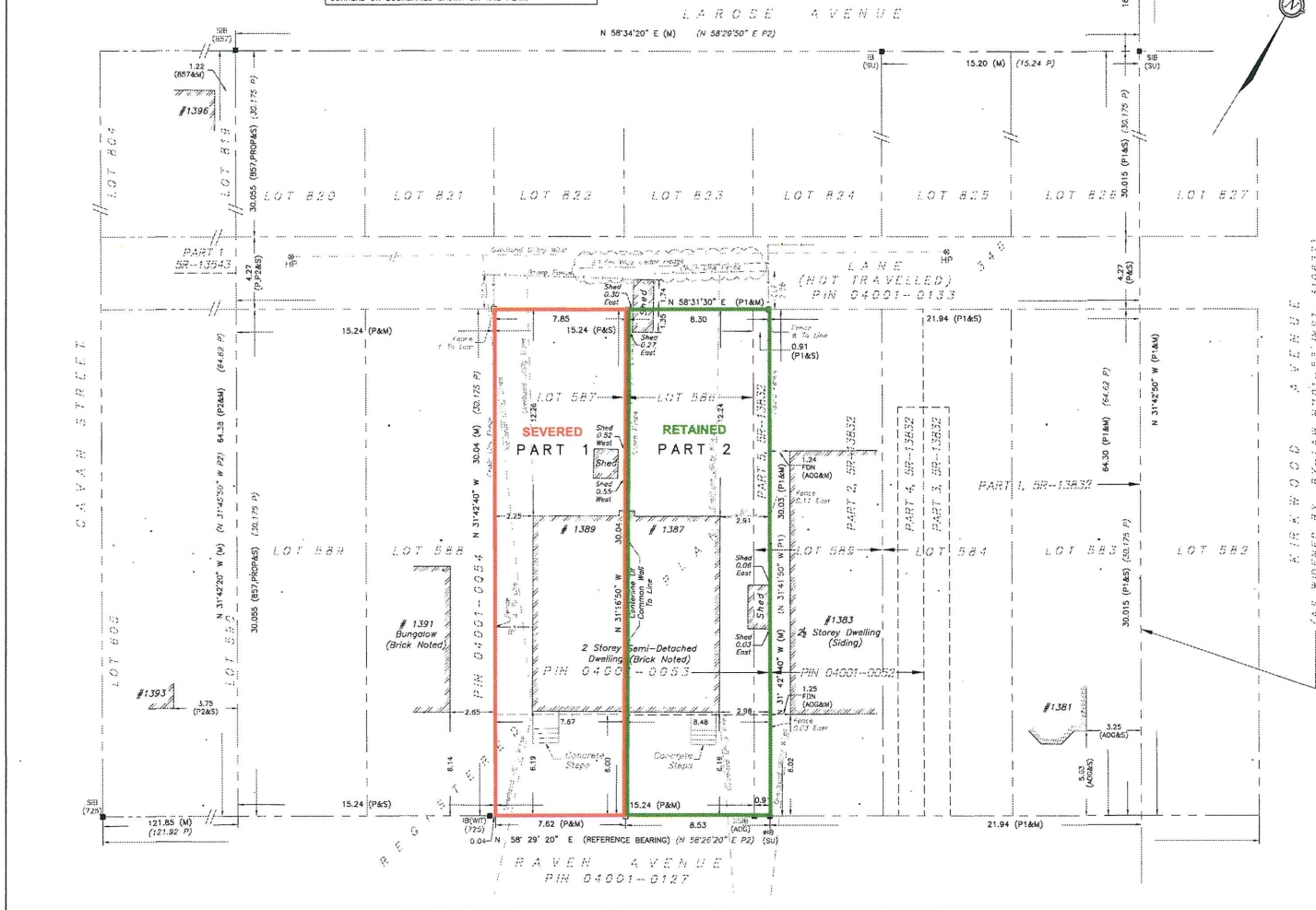
LOT WIDTH		AREA(m ²)	PART	LOT	PLAN	PIN
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8.48	252.7	2	PART OF LOTS 586 & 585			

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DATE _____

REPRESENTATIVE FOR THE
 LAND TITLES DIVISION OF
 OTTAWA - CARLETON (N° 4)
 JOHN H. GUTRI, O.L.S.



PLAN OF SURVEY OF
 LOT 586 AND LOT 587
 AND
 PART OF LOT 585
 REGISTERED PLAN 346
 CITY OF OTTAWA

SCALE 1 : 150

FAIRHALL, MOFFATT & WOODLAND LIMITED
 ONTARIO LAND SURVEYORS

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 2021/08/14
 DATE

JOHN H. GUTRI
 ONTARIO LAND SURVEYOR

Fairhall Moffatt & Woodland
 O T T A W A
 Surveying and Land Information Services
 100-400 TERRY FOX DRIVE, OTTAWA, ONTARIO K2L 4B6
 TEL: (613) 991-5286 FAX: (613) 991-1483
 www.fmw-ls.com

JOB NO:
 A B 1 7 5 0 0
 E 364641, N 5026765
 REFERENCE No.
 80-346 NP
 67(a)-346(NP)
 RP_AB175.dwg (68)

Secondary Severance

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AUGUST 26, 2021

SCHEDULE					
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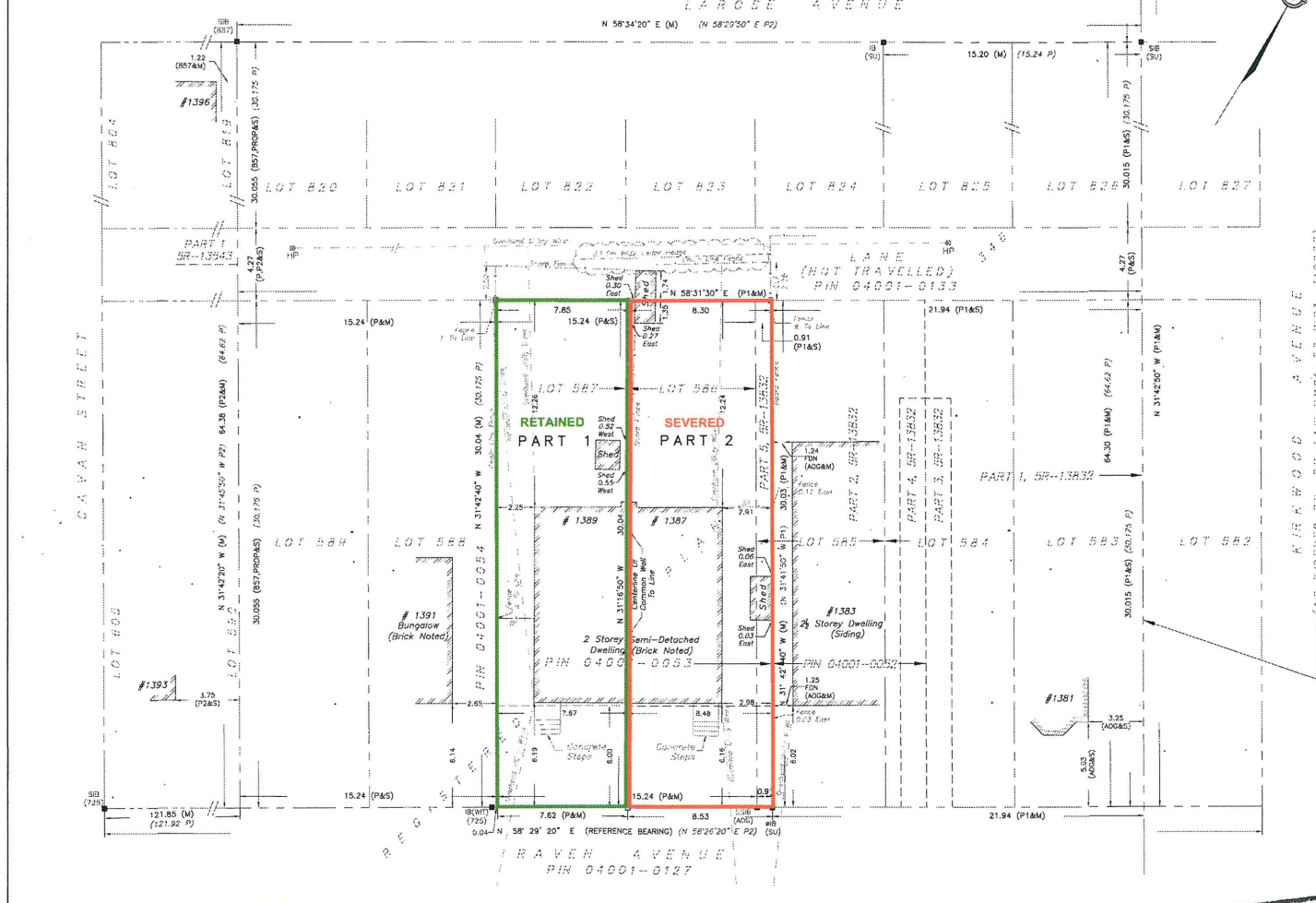
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LAND REGISTAR FOR THE
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OTTAWA - CARLETON (N° 4)



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CITY OF OTTAWA

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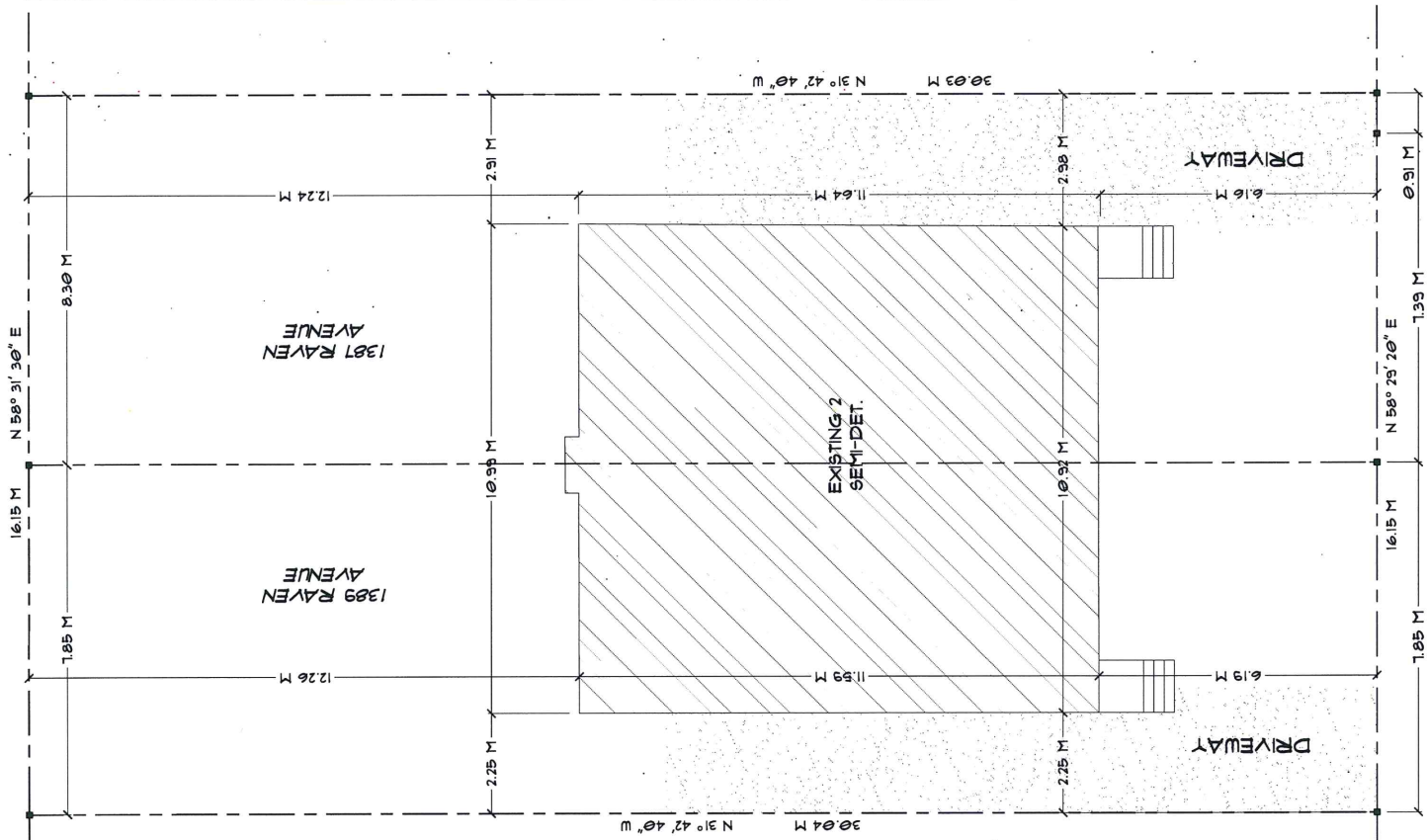
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L.L.M.T.E.S.
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Surveying and Land Information Services
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(613) 591-1488 Fax: (613) 591-1483
www.fairhallmoffatt.com

OTTAWA

JOB No. A B 1 7 5 0 0
E 364941, N 5026769
REFERENCE No. 80-346 NP
913001461000000 24000000022
RP_4B175_046 (04)

Committee of Adjustment
SEP 08 2021
City of Ottawa



1385 & 1387 RAVEN AVENUE ZONING PROVISIONS

ZONE CLASSIFICATION	R2H
TYPE OF DWELLING	SEMI-DET. DWELLING
MINIMUM LOT WIDTH	REQUIRED: 9.00 M PROPOSED: 1.85 M (MYR)
MINIMUM LOT AREA	REQUIRED: 210.00 M ² PROPOSED: 235.75 M ² (MYR)
MAXIMUM BUILDING HEIGHT	REQUIRED: 8.00 M EXISTING:
MIN. FRONT YARD SETBACK	REQUIRED: 6.00 M EXISTING: 6.16 M
MINIMUM CORNER SIDE YARD SETBACK	REQUIRED: 4.50 M EXISTING: N/A
MINIMUM REAR YARD SETBACK	REQUIRED: EXISTING:
MIN. INTERIOR SIDE YARD SETBACK	REQUIRED: 1.20 M EXISTING: 2.25 M

(MYR) : MINOR VARIANCE REQUIRED

• REAR YARD SETBACK: FOR THOSE LOTS OUTSIDE OF SCHEDULE 342, THE MINIMUM REAR YARD SETBACK IS 25% OF THE LOT DEPTH WHICH MUST COMPRISE AT LEAST 25% OF THE AREA OF THE LOT, HOWEVER IT MAY NOT BE LESS THAN 6 M AND NEED NOT EXCEED 11.5 M, DESPITE THE FOREGOING, ON LOTS WITH DEPTHS OF 15 METRES OR LESS, THE MINIMUM REAR YARD SETBACK IS 4 M

• INTERIOR SIDE YARD SETBACK: 1.5 WITHIN AREA A OF SCHEDULE 342, ALL OTHER CASES 1.2

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GENERAL NOTES:

- DO NOT SCALE DIMENSIONS. READ DIMENSIONS FROM DRAWING.
- GENERAL CONTRACTORS SHALL CONSTRUCT ALL WORK IN ACCORDANCE WITH THE 2006 ONTARIO BUILDING CODE, ALL APPLICABLE BYLAWS AND ALL OTHER APPLICABLE BUILDING CODES.
- THE OWNER/BUILDER MUST NEED TO PROVIDE AN ENGINEER'S REPORT AT HIS/HER EXPENSE.
- PLEASE NOTIFY DESIGNER FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED AND ANY CHANGES MADE ON DRAWING MUST BE MADE AT THE OWNER'S AND/OR CONTRACTOR'S EXPENSE AND RESPONSIBILITY.

PROJECT NUMBER: 2112

DRAWN BY: B.E.

SHEET: SP

NO.	DESCRIPTION	DATE

DRAWING TITLE: SITE PLAN	DATE: JULY 14, 2021
SCALE: 1 : 100	

<p>1. BASSANT ELAKARJ REVIEW AND SEAL THE DESIGN WORK ON BEHALF OF THE FIRM REGISTERED UNDER DIVISION C, PART 3, SUBSECTION 10.01 OF THE REGISTRATION ACT, 1990, IN THE PROVINCE OF ONTARIO, CANADA.</p> <p>DESIGNER: BCGN 31405 FIRM BCGN 449893</p> <p>SIGNATURE OF MEMBER: </p>	<p>SQUARE FOOTAGE: BASEMENT: 668 FT² GRND FLR: 664 FT² 2ND FLOOR: 664 FT²</p>
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CLEAR DRAFTING
145 HANOVER SQUARE
OTTAWA, ONTARIO K2J 1P7
TEL: 416-764-8426
EMAIL: SERVICES@CLEARDRAFTING.COM