

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
 DATE: _____

PLAN 4R-
 RECEIVED AND DEPOSITED
 DATE: _____

ANDREW J. BROXHAM
 ONTARIO LAND SURVEYOR

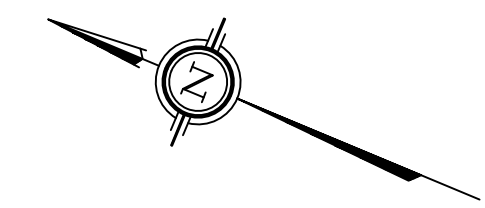
REPRESENTATIVE FOR
 LAND REGISTRAR FOR THE
 LAND TITLES DIVISION OF
 OTTAWA-CARLETON NO. 4.

SCHEDULE				
AREA (Sq.m.)	PART	LOT	CONCESSION	PIN
406.2	1			
406.5	2			
406.5	3	PART OF 7	4 (RIDEAU FRONT)	ALL OF 04340-0455
406.5	4			
406.2	5			
406.2	6			

CARLETON CONDOMINIUM PLAN No. 304

CARLETON CONDOMINIUM PLAN No. 63

PIN 15063 - 0001 TO 0135



Notes & Legend

- Denotes
- Survey Monument Planted
 - Survey Monument Found
 - SIB Standard Iron Bar
 - SSIB Short Standard Iron Bar
 - IB Iron Bar
 - IB# Round Iron Bar
 - CP Concrete Pin
 - (WIT) Witness
 - Meas. Measured
 - (AOG) Annis, O'Sullivan, Vollebek Ltd.
 - (P1) Plan 5R-1689
 - (P2) Carleton Condominium Plan No. 83
 - (P3) Plan 4R-16916
 - (P4) Plan 5R-6208
 - (P5) (AOG) Records Ref. 3023-01
 - (P6) (725) Plan August 31, 1979
 - OHW Overhead Wires
 - Gas Meter
 - Board Fence
 - CLF Chain Link Fence
 - WRW Wooden Retaining Wall
 - Hydro Meter
 - Utility Pole
 - AN Anchor
 - O LS Light Standard
 - AC Air Conditioner
 - Centreline
 - WTL Centreline Wall #to Line

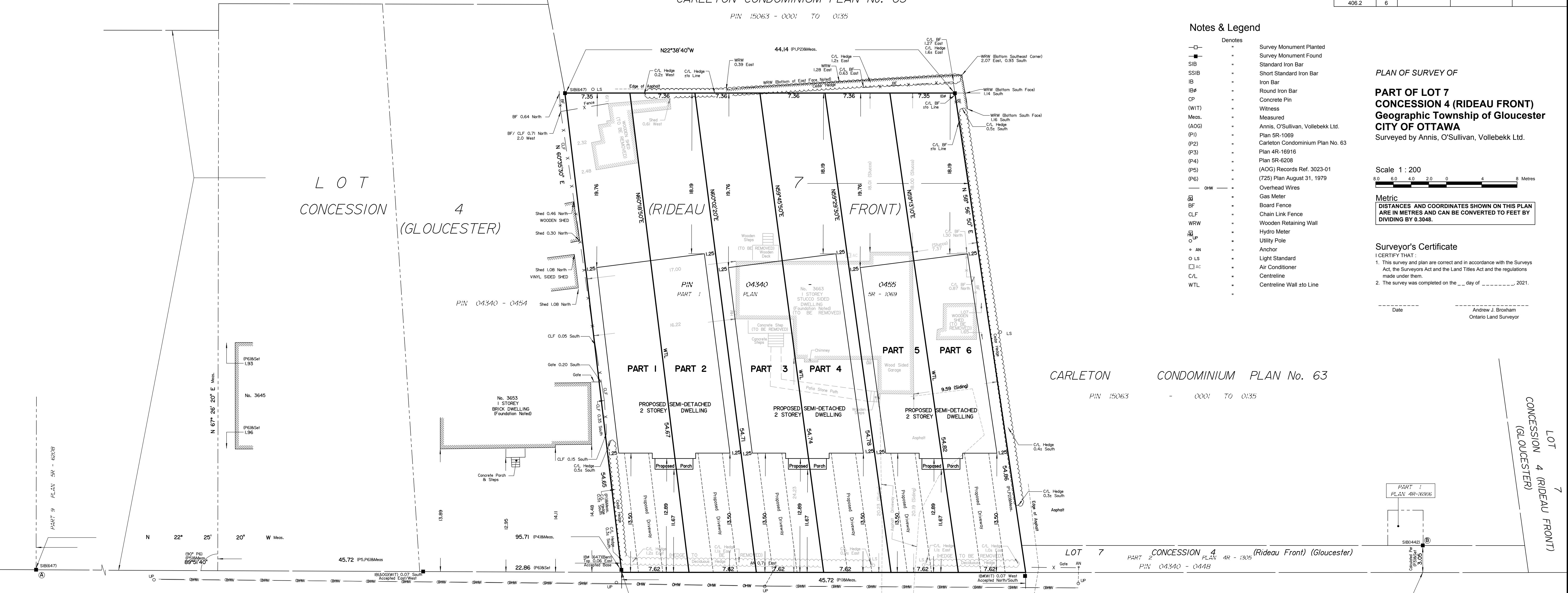
PLAN OF SURVEY OF
**PART OF LOT 7
 CONCESSION 4 (RIDEAU FRONT)**
 Geographic Township of Gloucester
 CITY OF OTTAWA
 Surveyed by Annis, O'Sullivan, Vollebek Ltd.



Metric
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN
 ARE IN METRES AND CAN BE CONVERTED TO FEET BY
 DIVIDING BY 0.3048.

Surveyor's Certificate
 I CERTIFY THAT:
 1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
 2. The survey was completed on the ___ day of _____ 2021.

Date _____
 Andrew J. Broxham
 Ontario Land Surveyor



Road Allowance Between Concessions 3 & 4 (Rideau Front) (Gloucester)

ALBION ROAD REGIONAL ROAD No. 25
 PIN 04340 - 0466

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearings are grid, derived from the northerly limit of Albion Road shown to be N22°38'40"W on plan by (AOG) dated March 20, 2020 and are referenced to MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°38'10" counter-clockwise was applied to bearings on plans P1, P2.

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

.01919680005	Northing	5027191.26	Eastings	361496.76
.01919680105	Northing	5024915.16	Eastings	373971.65
.Point A	Northing	5023758.11	Eastings	372111.09
.Point B	Northing	5023587.18	Eastings	372185.31

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.

CARLETON CONDOMINIUM PLAN No. 304

CARLETON CONDOMINIUM PLAN No. 63

PIN 15063 - 0001 TO 0135

LOT
CONCESSION 4

(RIDEAU

FRONT) (GLOUCESTER)

CARLETON CONDOMINIUM PLAN No. 63

PIN 15063 - 0001 TO 0135

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
CONCESSION 4 (RIDEAU FRONT)
Geographic Township of Gloucester
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 200

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 3.048

Surveyor's Certificate

I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 24th day of February, 2020.

March 20, 2020
Date
Andrew J. Broxham
Ontario Land Surveyor

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH
SURVEY REPORT DATED: MARCH 20, 2020

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to
Concorde Properties ("The Client"), their solicitors,
mortgagees, and other related parties, permission to use original, signed, sealed
copies of the Surveyor's Real Property Report in transactions involving The Client.

ELEVATION NOTES

1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum, derived from the Vertical Control Monument No. 19680293 having an elevation of 98.52 metres.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
4. Underground services and inverts (Sanitary) are taken from the City of Ottawa Engineering plans R-16-02, 32801-101 and 3287-102. Inverts (Storm) are scaled from Engineering plan R-3091-4.

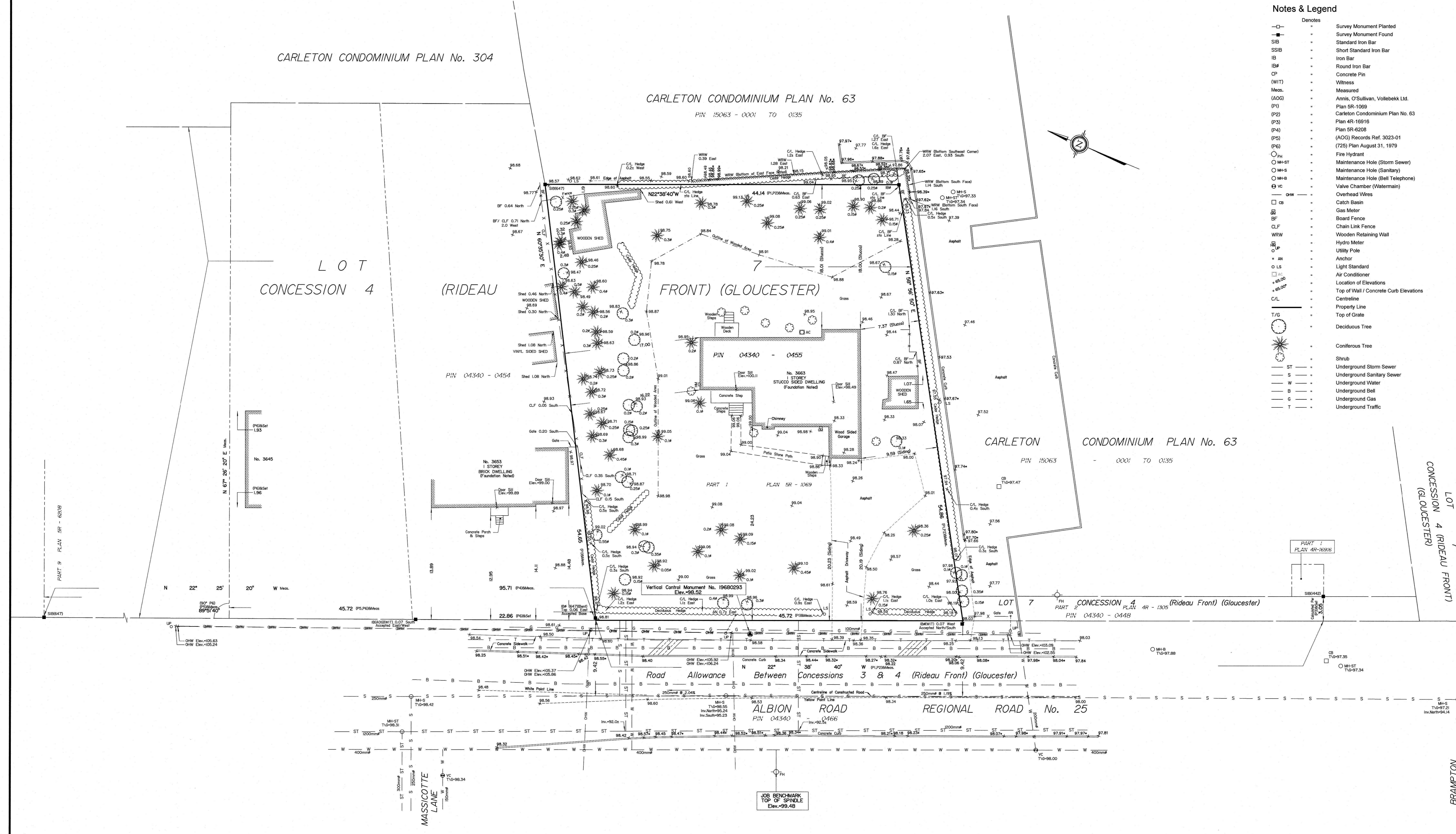
Bearings are grid and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°38'10" counter-clockwise was applied to bearings on plans P1, P2.

Topographic data was collected under Winter Conditions. Snow cover and ice preclude determining location and elevation of some topographical data that is otherwise visible.

Notes & Legend

- Denotes
- Survey Monument Planted
- Survey Monument Found
- SIB Standard Iron Bar
- SSIB Short Standard Iron Bar
- IB Iron Bar
- IB# Round Iron Bar
- CP Concrete Pin
- WIT Witness
- Mess. Measured
- (AOG) Annis, O'Sullivan, Vollebakk Ltd.
- (P1) Plan SR-1069
- (P2) Carleton Condominium Plan No. 63
- (P3) Plan 4R-16916
- (P4) Plan SR-6208
- (P5) (AOG) Records Ref. 3023-01
- (P6) (725) Plan August 31, 1979
- Fire Hydrant
- M+ST Maintenance Hole (Storm Sewer)
- M+S Maintenance Hole (Sanitary)
- M+H Maintenance Hole (Bell Telephone)
- VC Valve Chamber (Watermain)
- Overhead Wires
- Catch Basin
- Gas Meter
- Board Fence
- Chain Link Fence
- WRW Wooden Retaining Wall
- Hydro Meter
- Utility Pole
- AN — Anchor
- LS Light Standard
- AC Air Conditioner
- +60.00 Location of Elevations
- +60.00 Top of Wall / Concrete Curb Elevations
- C/L Centreline
- Property Line
- T/G Top of Gate
- Deciduous Tree
- Coniferous Tree
- ST — Underground Storm Sewer
- S — Underground Sanitary Sewer
- W — Underground Water
- B — Underground Bell
- G — Underground Gas
- T — Underground Traffic



ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2121770

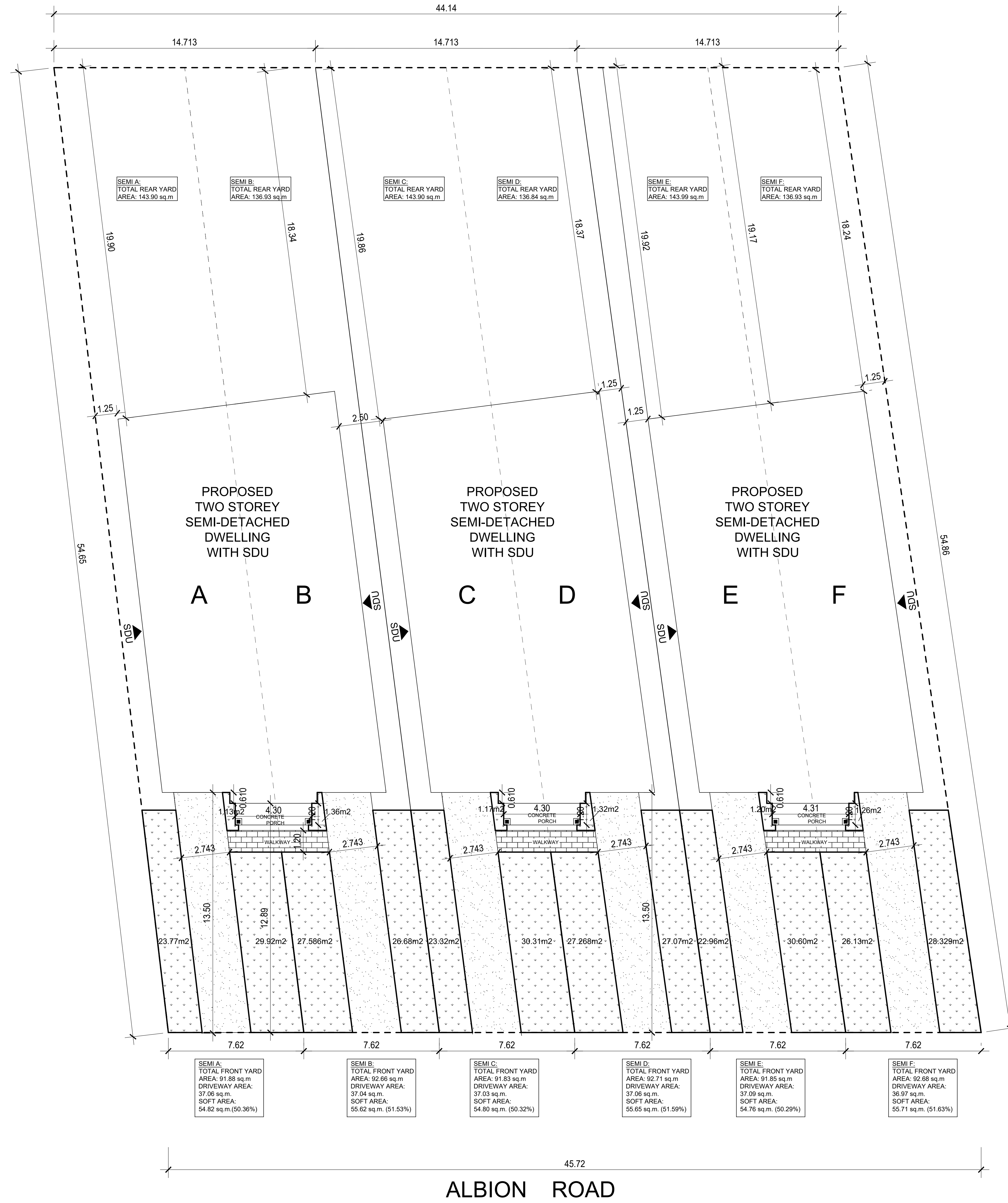
THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL
COPY ISSUED BY THE SURVEYOR
In accordance with
Regulation 1028, Section 29 (3).

ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: info@anniso.com

Ontario
Land Surveyors

Job No. 2020-20, Concession, P.L. 7, C. 4, R.F. G. T. F.

ADDRESS: 3663 ALBION RD							
ZONING: R2N							
PRINCIPAL DWELLING TYPE: SEMI-DETACHED							
REQUIRED ZONING	MIN. LOT WIDTH (M)	MIN. LOT AREA (M ²)	MAX. BUILDING HEIGHT (M)	MIN. FRONT YARD (M)	MIN. REAR YARD (M)	SIDE YARD (M)	
	9.00	270.00	8.50	5.00	7.00	1.00	
PROPOSED	SEMI DETACHED A	7.62	406.27	7.650	12.89	19.50	1.25
	SEMI DETACHED B	7.62	406.26	7.650	12.89	18.73	1.25
	SEMI DETACHED C	7.62	406.28	7.595	12.89	19.50	1.25
	SEMI DETACHED D	7.62	406.27	7.595	12.89	18.75	1.25
	SEMI DETACHED E	7.62	406.27	7.707	12.89	19.54	1.25
	SEMI DETACHED F	7.62	406.27	7.707	12.89	18.70	1.25



1 SITE PLAN SCALE: 1:50

PROJECT	
3663 ALBION RD OTTAWA ON K1T 1A4	
DRAWING TITLE	
SITE PLAN	
DRAWN BY	
PABLO RANGEL BCIN 107353	
REVISIONS	
DATE	SHEET
May 4, 2021	SP
SCALE	AS SHOWN





1 GRF FLOOR SCALE: 1/8" = 1'-0"
A1

PROJECT
3663 ALBION RD
OTTAWA ON K1T 1A4

DRAWING TITLE
SEMI-DETACHED
GROUND FLOOR

DRAWN BY
PABLO RANGEL BCIN 107353

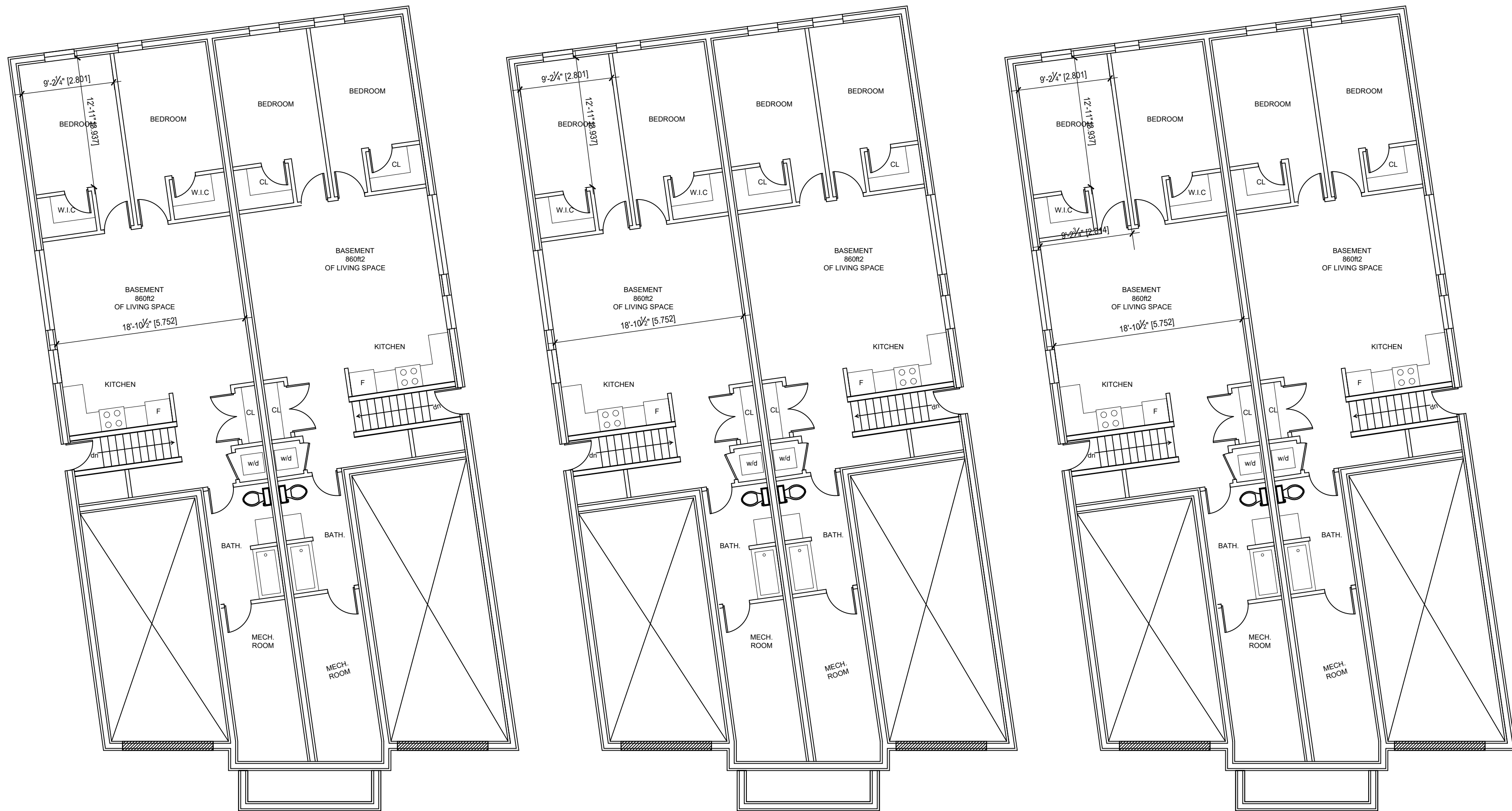
REVIEWED BY

DATE APRIL 18, 2021	SHEET A1
SCALE AS SHOWN	



1 2ND FLOOR SCALE: 1/8" = 1'-0"
A2

PROJECT	
3663 ALBION RD OTTAWA ON K1T 1A4	
DRAWING TITLE	
SEMI-DETACHED GROUND FLOOR	
DRAWN BY	
PABLO RANGEL BCIN 107353	
REVIEWED BY	
DATE	SHEET
APRIL 18, 2021	A2
SCALE	
AS SHOWN	



PROJECT
 3663 ALBION RD
 OTTAWA ON K1T 1A4

DRAWING TITLE
 SEMI-DETACHED
 BASEMENT

DRAWN BY
 PABLO RANGEL BCIN 107353

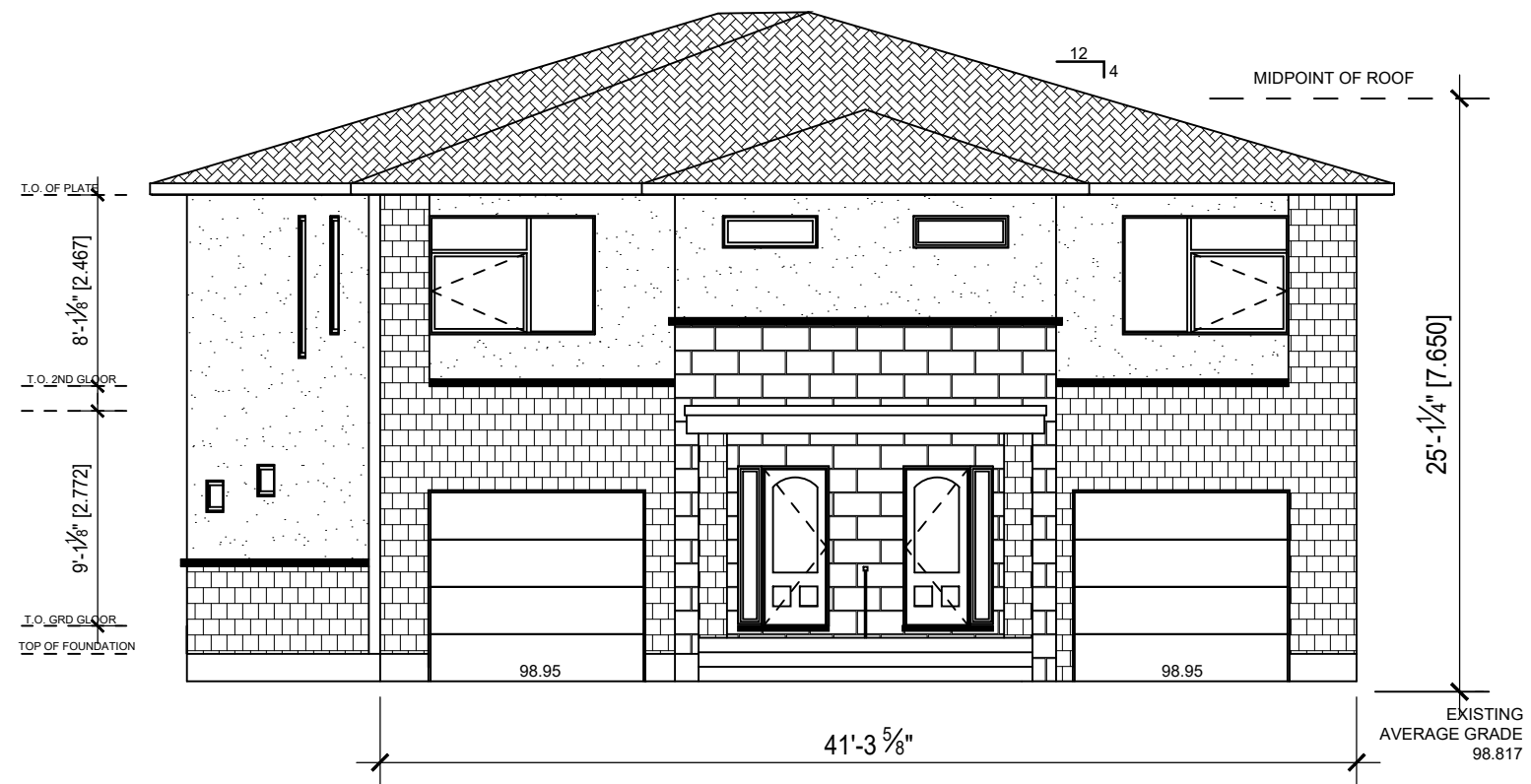
REVIEWED BY

DATE
 APRIL 18, 2021

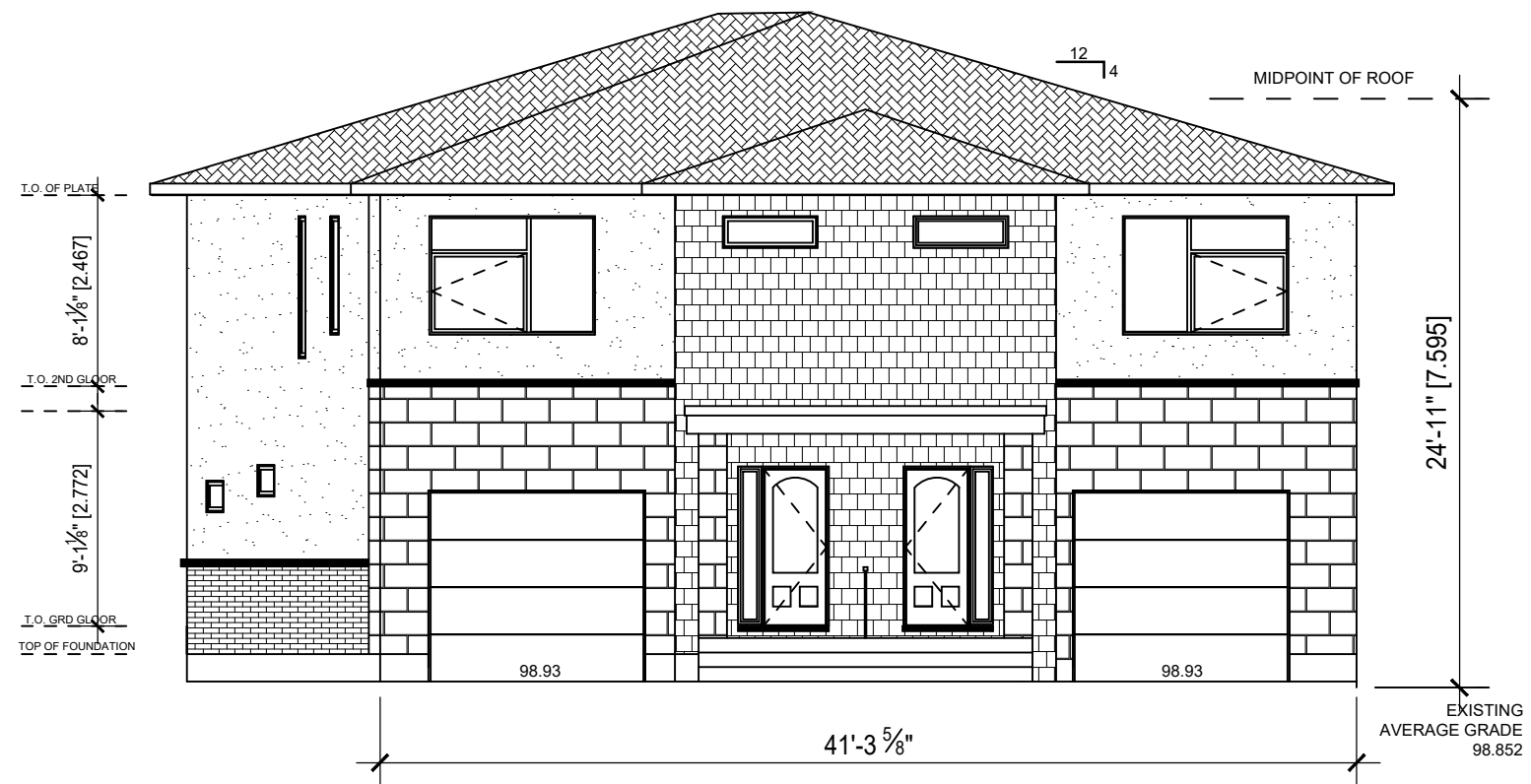
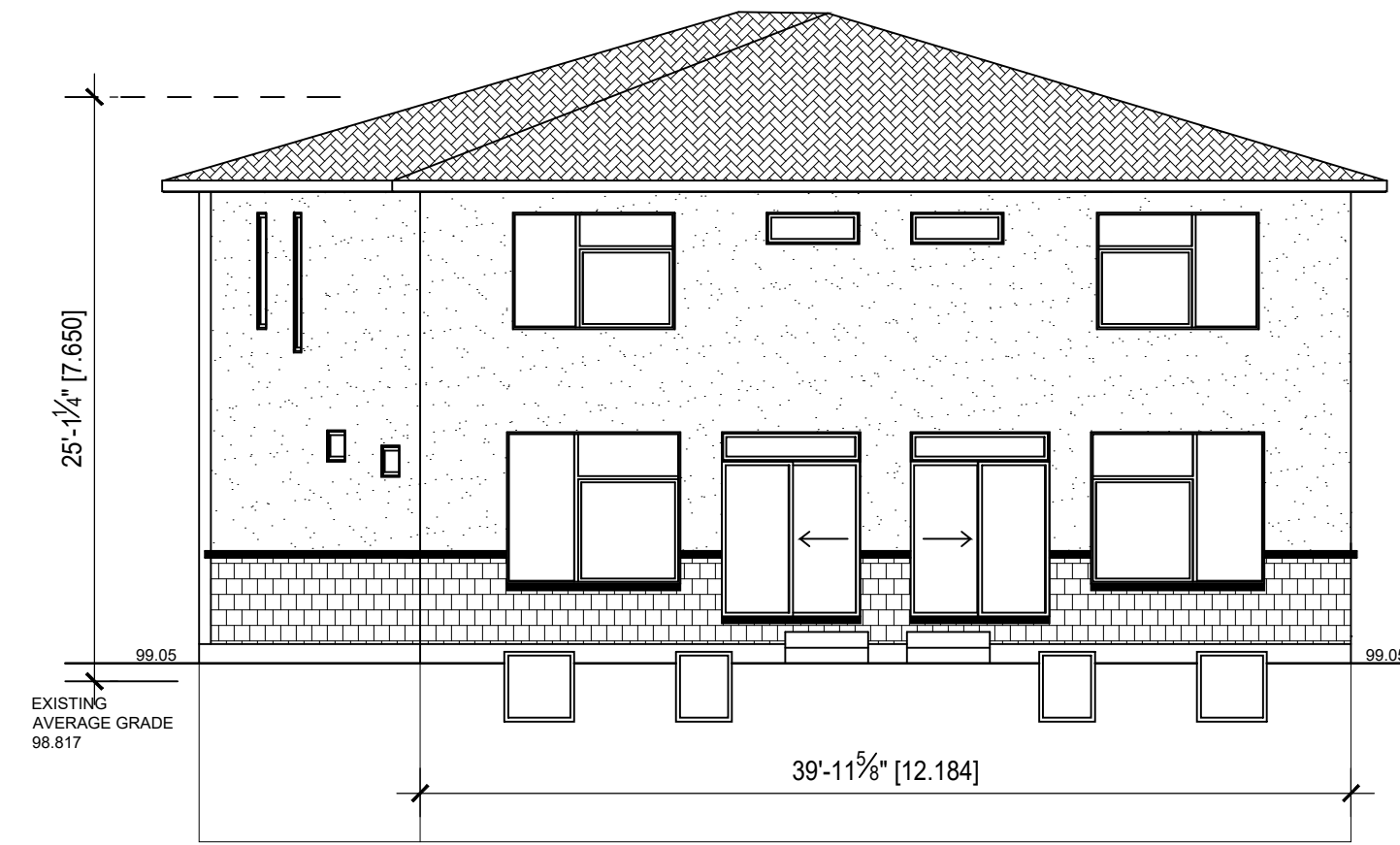
SHEET
A3

SCALE
 AS SHOWN

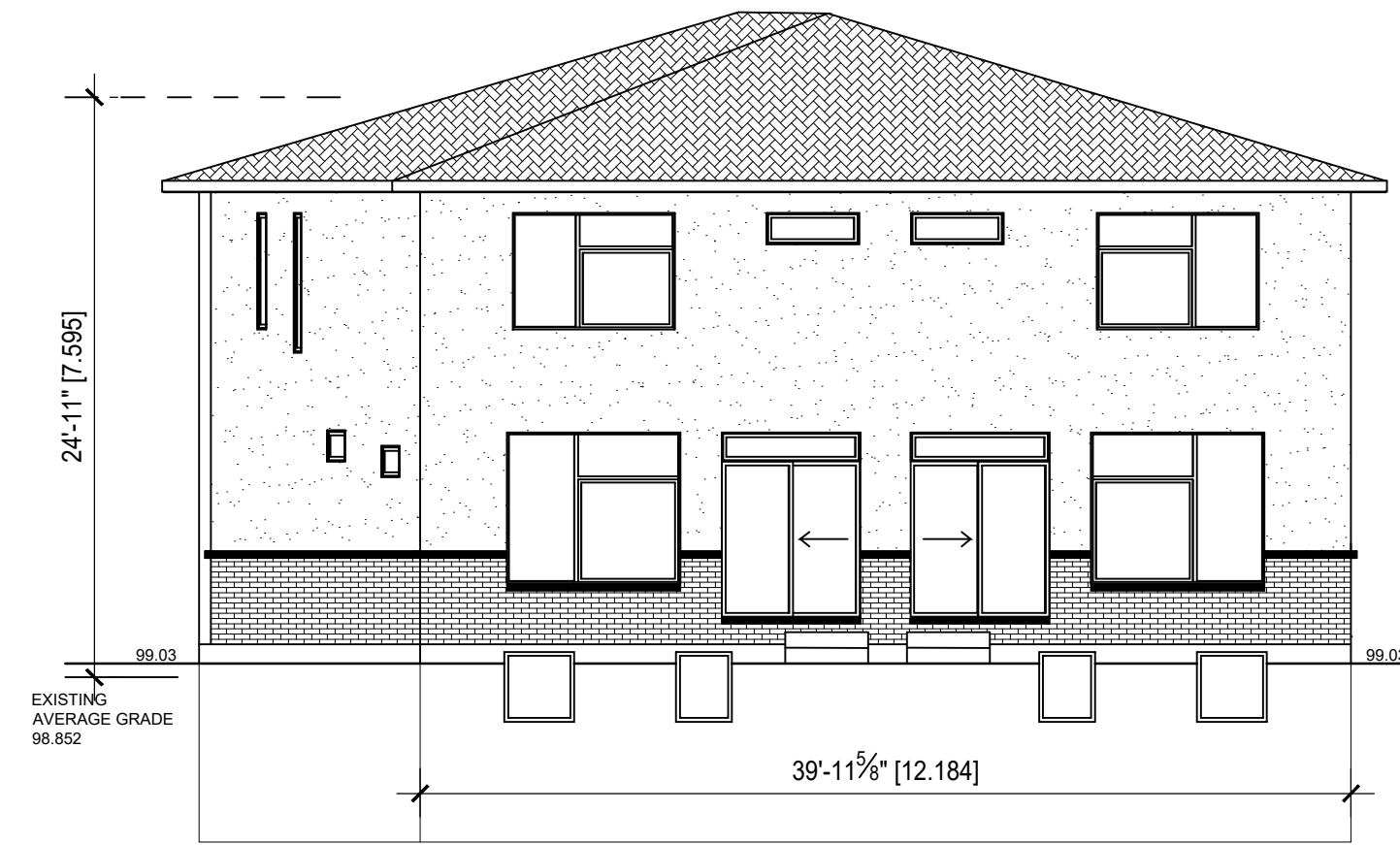
1 BASEMENT SCALE: 1/8" = 1'-0"
 A3



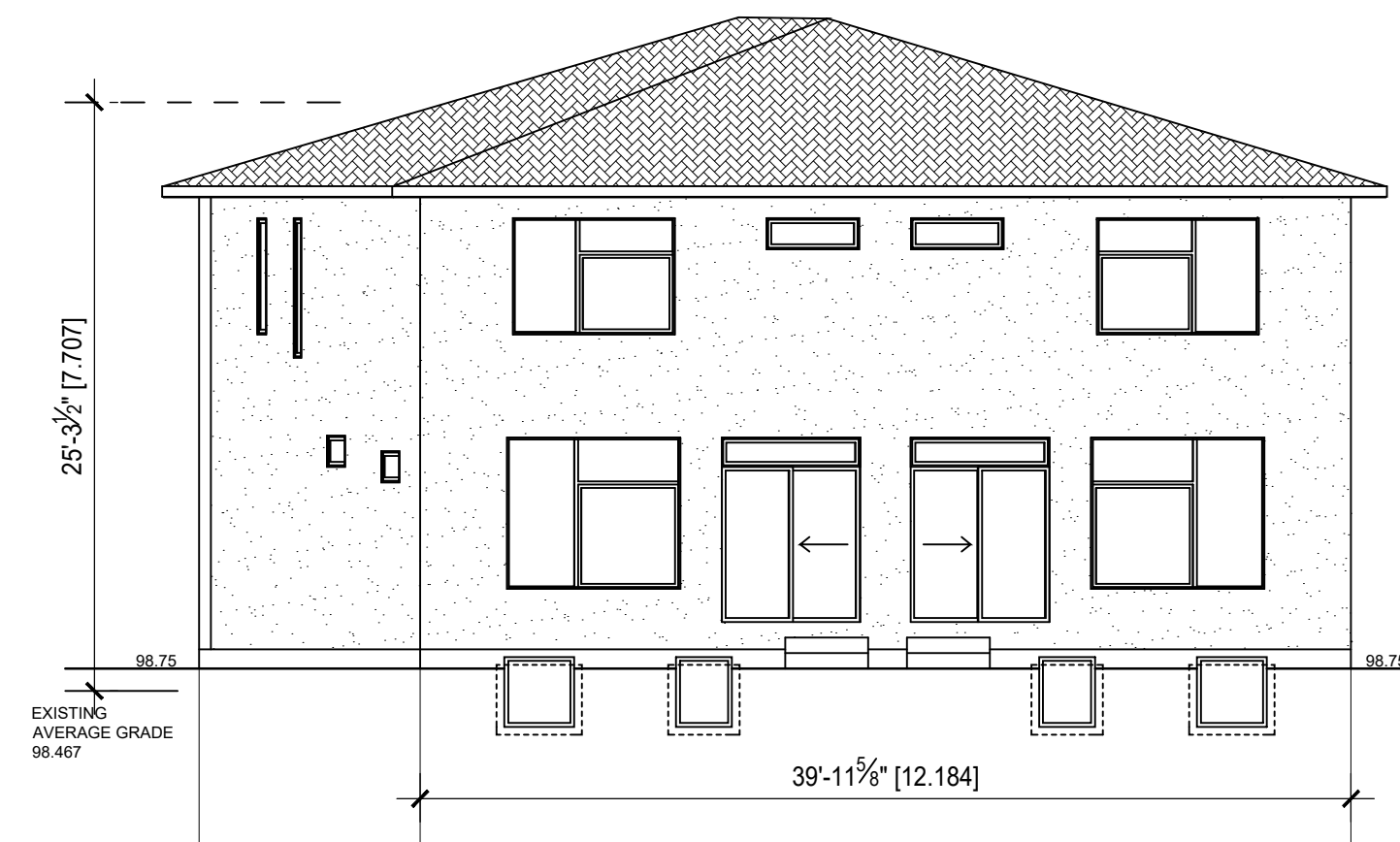
1 SEMI-DETACHED A-B FRONT & REAR ELEVATIONS SCALE: 1/8" = 1'-0"
A4



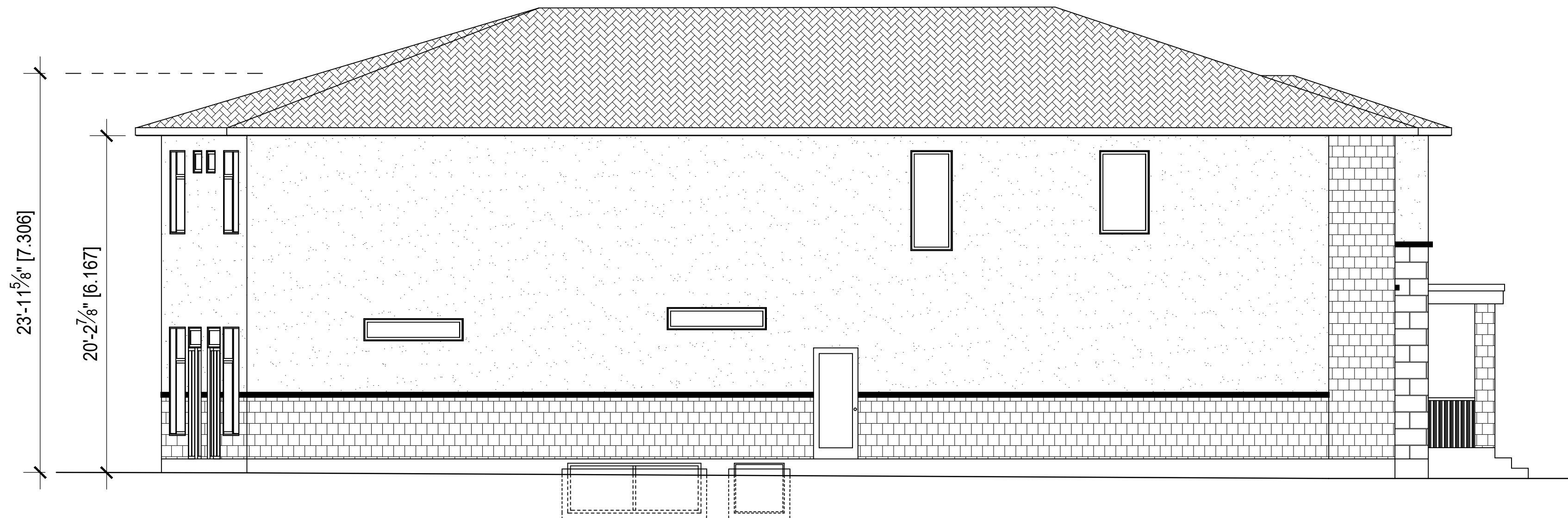
1 SEMI-DETACHED C-D FRONT & REAR ELEVATIONS SCALE: 1/8" = 1'-0"
A4



1 SEMI-DETACHED E-F FRONT & REAR ELEVATIONS SCALE: 1/8" = 1'-0"
A4



PROJECT	3663 ALBION RD OTTAWA ON K1T 1A4
DRAWING TITLE	SEMI-DETACHED BASEMENT
DRAWN BY	PABLO RANGEL BCIN 107353
REVIEWED BY	
DATE	APRIL 18, 2021
SCALE	AS SHOWN
SHEET	A4



1 TYPICAL SIDE ELEVATION SCALE: 3/16" = 1'-0"
A5

PROJECT
3663 ALBION RD
OTTAWA ON K1T 1A4

DRAWING TITLE
SEMI-DETACHED
BASEMENT

DRAWN BY
PABLO RANGEL BCIN 107353

REVIEWED BY

DATE
APRIL 18, 2021

SCALE
AS SHOWN

SHEET
A5



