

**1. ZONING BY-LAW AMENDMENT – PART OF 6069 FOURTH LINE ROAD  
MODIFICATION AU RÈGLEMENT DE ZONAGE – PARTIE DU 6069, CHEMIN  
FOURTH LINE**

**COMMITTEE RECOMMENDATION**

**That Council approve an amendment to Zoning By-law 2008-250 for part of 6069 Fourth Line Road, for the purposes of rezoning a portion of the lands from Agricultural (AG) to Agricultural Subzone 5 (AG5), to prohibit residential uses on the retained farmland, as detailed in Document 2.**

**RECOMMANDATION DU COMITÉ**

**Que le Conseil approuve une modification au Règlement de zonage 2008-250 pour une partie du 6069, chemin Fourth Line, pour changer le zonage de la zone agricole (AG) au zone agricole sous-zones 5 (AG5) afin d'interdire les utilisations résidentielles sur les terres agricoles conservées, comme le précise le document 2.**

**DOCUMENTATION / DOCUMENTATION**

1. John L. Moser, Acting Deputy City Manager, Planning and Infrastructure, report dated 14 March 2016 (ACS2016-PAI-PGM-0067).

Rapport du Directeur municipal adjointe par intérim, urbanisme et infrastructure, John L. Moser, daté le 14 mars 2016 (ACS2016-PAI-PGM-0067).

2. Extract of draft Minutes, Agriculture and Rural Affairs Committee, 12 April 2016

Extrait de l'ébauche du procès-verbal, Comité de l'agriculture et des affaires rurales, le 12 avril 2016.

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**COMITÉ DE L'AGRICULTURE ET  
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LE 13 AVRIL 2016**

**Report to  
Rapport au:**

**Agriculture and Rural Affairs Committee / Comité de l'agriculture et des affaires  
rurales**

**April 12, 2016 / 12 avril 2016**

**and Council / et au Conseil  
April 27, 2016 / 27 avril 2016**

**Submitted on March 14, 2016  
Soumis le 14 mars 2016**

**Submitted by  
Soumis par:**

**John L. Moser,**

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Planning and Infrastructure / Urbanisme et Infrastructure**

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**Ward: RIDEAU-GOULBOURN (21)**

**File Number: ACS2016-PAI-PGM-0067**

**SUBJECT: Zoning By-law Amendment – Part of 6069 Fourth Line Road**

**OBJET: Modification au Règlement de zonage – Partie du 6069, chemin  
Fourth Line**

### **REPORT RECOMMENDATION**

**That Agriculture and Rural Affairs Committee recommend Council approve an amendment to Zoning By-law 2008-250 for part of 6069 Fourth Line Road, for the purposes of rezoning a portion of the lands from Agricultural (AG) to Agricultural Subzone 5 (AG5), to prohibit residential uses on the retained farmland, as detailed in Document 2.**

### **RECOMMANDATION DU RAPPORT**

**Que le Comité de l'agriculture et des affaires rurales recommande au Conseil d'approuver une modification au Règlement de zonage 2008-250 pour une partie du 6069, chemin Fourth Line, pour changer le zonage de zone agricole (AG) au zone agricole sous-zones 5 (AG5) afin d'interdire les utilisations résidentielles sur les terres agricoles conservées, comme le précise le document 2.**

### **BACKGROUND**

Learn more about [link to Development Application process - Zoning Amendment](#)

For all the supporting documents related to this application visit the [link to Development Application Search Tool](#).

### **Site location**

The property is located on the east side of Fourth Line Road, at the intersection with Carsonby Road West. The subject property is located approximately 2.5 kilometres north of the village of North Gower.

### **Owner**

Tricia and Christopher Schouten

## **Applicant**

Jeff Shipman

## **Description of site and surroundings**

The property is located on the east side of Fourth Line Road, at the intersection with Carsonby Road West. The subject property is located approximately 2.5 kilometres north of the village of North Gower. The lands to be rezoned contain approximately 38 hectares, with 382 metres of broken frontage on Fourth Line Road and 904 metres of broken frontage on Carsonby Road West.

## **Summary of requested Zoning By-law amendment proposal**

The application has been submitted in order to fulfill a condition of severance approval imposed by the Committee of Adjustment with respect to applications D08-01-15/B-00311. The intent is to prohibit residential uses on the retained lands.

## **Brief history of proposal**

The land to which the proposed Zoning By-law amendment applies was the subject of an application for a surplus farm dwelling severance, application numbers D08-01-15/B-00311. The severance request was granted by the Committee of Adjustment on September 16, 2015 with a condition that the owner rezone the remnant farmland in order to prohibit residential development.

## **DISCUSSION**

### **Public consultation**

Notification and public consultation was undertaken in accordance with the Public Notification and Public Consultation Policy approved by City Council for Zoning By-law amendments.

### **Official Plan designation**

This application is being processed under the policies of Official Plan Amendment 150. The property is designated Agricultural Resource Area. This designation protects the

prime agricultural area from loss of lands to other uses. Severances are permitted for a surplus dwelling due to farm consolidation [Section 3.7.3(8)]. Section 3.7.3(9b) requires the vacant agricultural parcel be rezoned to prohibit any future residential use, and (9c) stipulates that the size of the severed lot be a size that minimizes the loss of agricultural lands. This Zoning By-law amendment application satisfies the requirements of the Official Plan [Section 3.7.3(9b)] as conditioned by the Committee of Adjustment.

### **Other applicable policies and guidelines**

The Provincial Policy Statement (PPS), which came into effect on April 30, 2014, has specific policies with regard to the management of Ontario's agricultural resources. Section 2.3.4.1(c) restricts lot creation in agricultural resource areas to residences that are deemed surplus to a farming operation as a result of farm consolidation. The PPS policies related to severances on agricultural lands provide the basis for the City's related Official Plan and Zoning By-law severance policies, as such, this application is in line with the PPS, Official Plan and the Zoning By-law.

### **Planning rationale**

This Zoning By-law amendment will affect 38 hectares of retained agricultural land with 382 metres of broken frontage on Fourth Line Road and 904 metres of broken frontage on Carsonby Road West. The parcel will meet the minimum lot area requirements of the AG5 zone, which is 30 hectares, and the minimum lot width requirement of 60 metres. This Zoning By-law amendment proposes to rezone the remnant agricultural lands from AG to AG5, in order to prohibit future residential development.

This Zoning By-law amendment implements a condition imposed by the Committee of Adjustment. No new development is proposed.

### **Provincial Policy Statement**

Staff have reviewed this proposal and have determined that it is consistent with the Provincial Policy Statement, 2014.

## **RURAL IMPLICATIONS**

This Zoning By-law amendment restricts new residential development, thus protecting the agricultural land from fragmentation or competing uses. The effect of this rezoning will be to maintain the rural heritage, and strengthen the rural landscape by supporting the continued productive use of agricultural lands.

## **COMMENTS BY THE WARD COUNCILLOR**

Councillor Moffatt is aware of the application related to this report.

## **LEGAL IMPLICATIONS**

There are no legal impediments to adopting the recommendation outlined in this report.

## **RISK MANAGEMENT IMPLICATIONS**

There are no risk management implications associated with this report.

## **FINANCIAL IMPLICATIONS**

There are no financial implications associated with this report.

## **ACCESSIBILITY IMPACTS**

There are no accessibility implications associated with this application.

## **ENVIRONMENTAL IMPLICATIONS**

This Zoning By-law amendment prohibits residential use on prime farmland and prevents fragmentation of agricultural land, thereby preserving high quality farmland in the City's Agricultural Resource Area.

## **TERM OF COUNCIL PRIORITIES**

This project addresses the following Term of Council Priorities:

ES1 – Support an environmentally sustainable Ottawa.

ES2 – Reduce long-term costs through planned investment and staging of diversion and conservation strategies.

### **APPLICATION PROCESS TIMELINE STATUS**

This application was processed by the On Time Decision Date established for the processing of Zoning By-law amendment applications.

### **SUPPORTING DOCUMENTATION**

Document 1 Location Map

Document 2 Details of Recommended Zoning

Document 3 Overview Data Sheet

### **CONCLUSION**

Planning and Growth Management Department supports this Zoning By-law amendment because it is consistent with the intent of the City's Official Plan and the Zoning By-law.

### **DISPOSITION**

City Clerk and Solicitor Department, Legislative Services, to notify the owner, applicant, OttawaScene Canada Signs, 1565 Chatelain Avenue, Ottawa, ON K1Z 8B5, and Program Manager, Assessment, Financial Services Branch (Mail Code: 26-76) of City Council's decision.

Planning and Growth Management Department to prepare implementing by-law, forward to Legal Services and undertake the statutory notification.

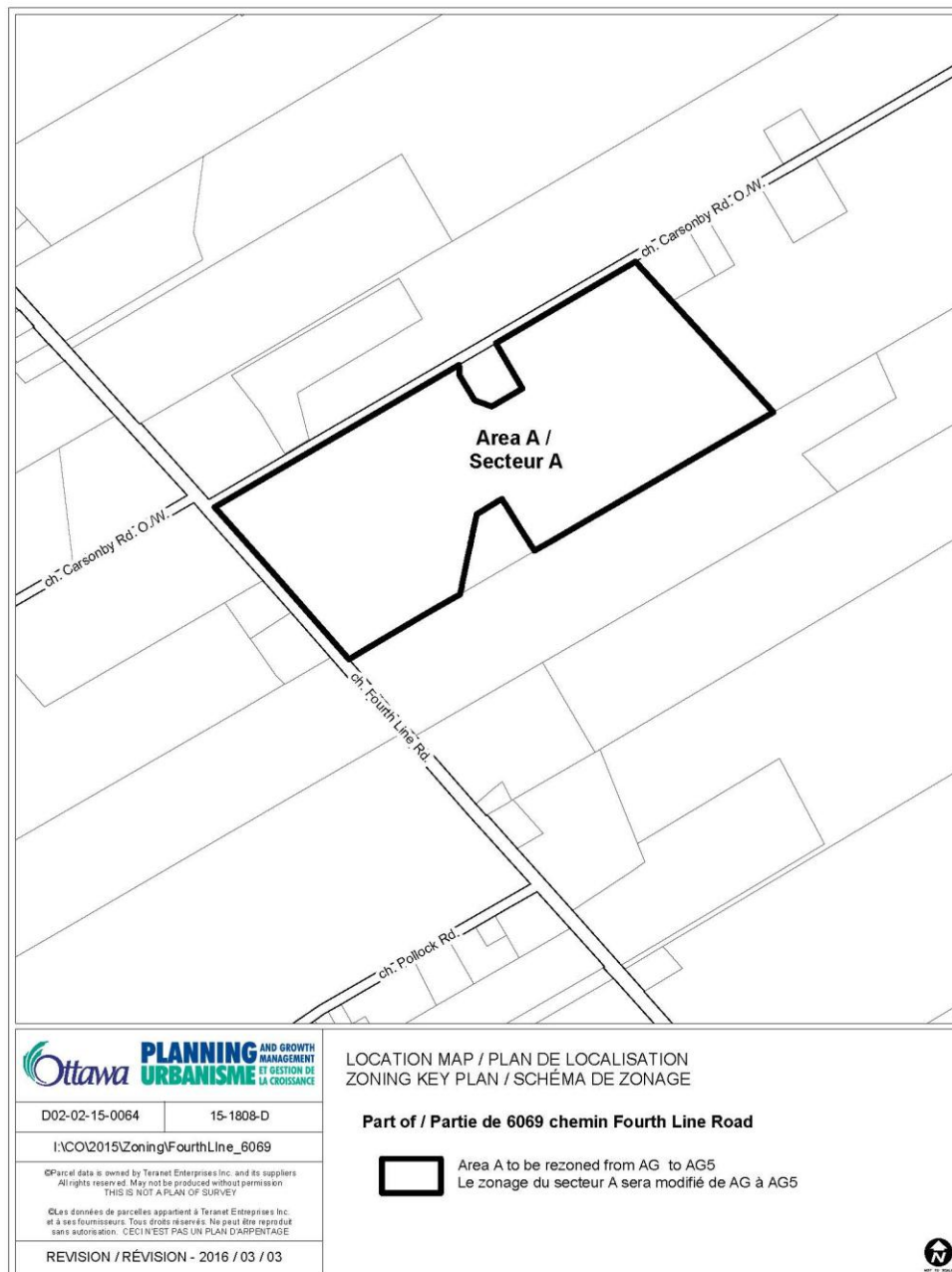
Legal Services to forward the implementing by-law to City Council.



**Document 1 – Location Map**

For an interactive Zoning map of Ottawa visit [geoOttawa](http://geoOttawa)

This location map includes a part of the property addressed as 6069 Fourth Line Road.  
The area identified as Area A on the map is to be rezoned from AG to AG5.



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**Document 2 – Details of Recommended Zoning**

The proposed change to the Comprehensive Zoning By-law for part of 6069 Fourth Line Road, as shown on Document 1, is to rezone the land from AG to AG5.